

OFFICE OF THE COUNCIL

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MARTHA PTASHNIK, Vice President
CARRIE BUDZINSKI
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LAURA M. TOY



33000 CIVIC CENTER DRIVE
LIVONIA, MICHIGAN 48154-3097
(734) 466-2250
citycouncil@livonia.gov

COMMITTEE MEMBERS:

Brandon McCullough, Chair
All Councilmembers

OFFICE OF THE COUNCIL

**MEETING PACKET FOR THE
COMMITTEE OF THE WHOLE**

**APRIL 28, 2025
6:00 P.M.**

**The electronic packet is compiled, produced and distributed
by the City Council Staff. (734) 466-2250**

The official documents are on file in the City Clerk's office.

PUBLIC MEETING - COMMITTEE OF THE WHOLE
April 28, 2025
Livonia City Hall Council Chambers
33000 Civic Center Drive
Livonia, MI 48154
6:00 PM

Members:

Brandon McCullough, Chair
All Councilmembers

AGENDA ITEM(S)

1. [The subject matter of Petition 2025-01-02-01 submitted by Eman Enterprises LLC, requesting waiver use approval to redevelop an existing commercial site, including adding service bays, renovating the interior and exterior of the building and operating an automobile repair facility at 27819 Plymouth Road, located on the southwest corner of Plymouth and Cardwell Street in the Northeast ¼ of Section 36. \(CR 74-25\)](#)

AUDIENCE COMMUNICATION

**THIS IS AN OPEN MEETING AND
ALL INTERESTED PARTIES ARE WELCOME TO ATTEND.**

This meeting will be reported at the Regular Meeting of May 7, 2025

Minutes of this meeting will be available for public inspection in the City Clerk's Office not more than eight business days following the date of the meeting.

In accordance with Title II of the American with Disabilities Act as it pertains to access to Public Meetings, the City Clerk's Office of the City of Livonia, upon adequate notice, will make reasonable accommodations for persons with disabilities. Please call (734) 466-2236 or email clerk@livonia.gov if you need assistance. Council agendas are available on the City's website – www.livonia.gov - under Government, City Council, Agendas.

LORI L. MILLER, CITY CLERK



LETTER TO THE LIVONIA CITY COUNCIL

1.

Planning
April 23, 2025

MEETING DATE

COW042825/R050725

PRESENTED BY

Mark Taormina, Planning and Economic Development Director

AGENDA ITEM

The subject matter of Petition 2025-01-02-01 submitted by Eman Enterprises LLC, requesting waiver use approval to redevelop an existing commercial site, including adding service bays, renovating the interior and exterior of the building and operating an automobile repair facility at 27819 Plymouth Road, located on the southwest corner of Plymouth and Cardwell Street in the Northeast ¼ of Section 34.

BACKGROUND DETAILS

At the Regular Meeting Minutes of March 10, 2025:

On a motion by Councilmember Donovic, supported by Councilmember Scheel, it was:
#74-25 RESOLVED, that having considered a communication from the City Planning Commission, dated February 10, 2025, approved for submission by the Mayor, which transmits its resolution #02-03-2025, adopted on February 4, 2025, with regard to Petition 2025-01-02-01 submitted by Eman Enterprises LLC, requesting waiver use approval to redevelop an existing commercial site, including adding service bays, renovating the interior and exterior of the building and operating an automobile repair facility at 27819 Plymouth Road, located on the southwest corner of Plymouth and Cardwell Street in the Northeast ¼ of Section 36, the council does hereby refer this item to the Committee of the Whole for its report and recommendation.

PREFERRED COUNCIL RECOMMENDATION/RESOLUTION (Please complete this field. Attachments are not to be used in lieu of the recommendation)

To discuss the subject matter as presented.

ATTACHMENTS

1. R031025 Petition 2025-01-02-01 Eman Enterprises 74-25
2. S022425 Petition 2025-01-02-01 Eman Enterprises Minutes
3. S022425 Petition 2025-01-02-01 New Data Recd 2-21-25
4. S022425 LTC Pet 2025-01-02-01, Eman Enterprises
5. 2025-01-02-01_E-COUNCIL Pkt

APPROVED BY

Regular Meeting Minutes of March 10, 2025

On a motion by Councilmember Donovic, supported by Councilmember Scheel, it was:

#74-25 RESOLVED, that having considered a communication from the City Planning Commission, dated February 10, 2025, approved for submission by the Mayor, which transmits its resolution #02-03-2025, adopted on February 4, 2025, with regard to Petition 2025-01-02-01 submitted by Eman Enterprises LLC, requesting waiver use approval to redevelop an existing commercial site, including adding service bays, renovating the interior and exterior of the building and operating an automobile repair facility at 27819 Plymouth Road, located on the southwest corner of Plymouth and Cardwell Street in the Northeast ¼ of Section 36, the council does hereby refer this item to the Committee of the Whole for its report and recommendation.

<i>CONSENT AGENDA ITEM 2 (Regular Meeting of March 10, 2025)</i>
--

Motion:	Donovic
Second:	Scheel
Ayes:	Toy, Donovic, Ptashnik, Budzinski, Scheel, Morgan and McCullough
Nays:	None
Absent:	None

**CITY OF LIVONIA – CITY COUNCIL
MINUTES OF STUDY MEETING HELD FEBRUARY 24, 2025**

Meeting was called to order at 8:46 p.m. by Council Vice President Ptashnik. Present: Rob Donovic, Carrie Budzinski, Lynda Scheel, Scott Morgan, Laura Toy, and Vice President Ptashnik. Absent: President McCullough.

Elected and appointed officials present: Carter Fisher, City Attorney; Mark Taormina, City Planner and Economic Development Director; and Lori L. Miller, City Clerk.

Councilmember Donovic led the meeting with the Pledge of Allegiance.

3. WAIVER PETITION: Planning Commission, re: Petition 2025-01-02-01 submitted by Eman Enterprises LLC, requesting waiver use approval to redevelop an existing commercial site, including adding service bays, renovating the interior and exterior of the building and operating an automobile repair facility at 27819 Plymouth Road, located on the southwest corner of Plymouth and Cardwell Street in the Northeast ¼ of Section 34.

Mark Taormina, City Planning and Economic Development Director, presented the waiver petition to the Council. Mr. Taormina stated the request is to renovate the former Mickey Schore Electronics building on Plymouth Road for use as a vehicle repair facility. Mr. Taormina indicated the building is roughly 2,000 sq. feet in size with two driveways, one off Plymouth Road and the second from Cardwell. Mr. Taormina stated the plans shows three work bays that will operate with three employees, with the minimum amount of parking outlined for the employees. The dumpster as shown on the plans is situated in the northwest corner of the building, but there is no definitive landscaping plan with the species. Mr. Taormina stated the fence on the site plan will require approval by the Zoning Board of Appeals. The thin brick material as shown on the architectural plans will need to be looked at, and the Inspection Department will need to be involved. Mr. Taormina stated the parking lot lighting shown is not what is recommended and there are outstanding taxes owed on the property, but not sure if that has been resolved. The approving resolution submitted by the Planning Commission does address all the issues raised.

Mohamed Essan, 27819 Plymouth Road, was present to answer questions. Mr. Essan indicated he wanted to open the business for auto repair and has had previous repair shops in the past. Mr. Essan indicated the building is in bad shape and there are three overhead doors that exist on the property, but they have been covered, and the below ground hoists at the location will be removed and he plans to install above-ground hoists for vehicles.

Councilmember Donovic inquired about the existing fencing on the property and Mr. Taormina stated it would need to be replaced with the appropriate fencing and necessary landscaping. Councilmember Donovic stated he would like to work with the petitioner to make sure the property is cleaned up and no longer an eye soar. He inquired if the Petitioner would be amenable to continue the use of brick veneer on the west side of the building and Mr. Essan agreed.

Councilmember Budzinski inquired if the delinquent taxes for the property had been paid and Mr. Essan responded as far as he knew. Councilmember Budzinski expressed shared concerns expressed by Councilmember Donovic as far as how it will look for a major thoroughfare they are trying to improve and asked various

questions about how work will be done on the property and what the daily operations involve.

Susan Nash, City Treasurer, confirmed there are no outstanding taxes owed on the subject property.

Mr. Essan outlined the various features of the site plan as submitted, including the enclosure of the back part of the property, so no vehicles would be viewable from the roadway. Mr. Essan stated all vehicles to be worked on would either be inside the building or behind the brick wall at the back of the property.

Councilmember Toy inquired about the petitioner's experience in this type of industry and inquired if the dumpster enclosure could be moved to the back of the property, stating a large dumpster right along the Plymouth Road roadway would not be pleasant to see.

Following Council questions and discussion, it was determined the matter is not resolved completely, there are additional concerns for the property and the petitioner needed to provide more detailed answers and updated plans to see if the requested matters could be resolved to meet the requirements of the Planning Commission, Building Department, and applicable Ordinances and the views shared by the Council.

DIRECTION:

COW

CONSENT

From: [Uhazie, Jacob](#)
To: [Kasprowicz, Sara](#)
Subject: New Data for Petition 2025-01-02-01
Date: Friday, February 21, 2025 11:07:49 AM
Attachments: [2025-01-02-01_Set of Plans \(2025-02-21\).pdf](#)

Sara,

We received a revised site plan for petition 2025-01-02-01 at 27819 Plymouth. Please see attached to add to the Council Information.

Thank you

Jacob Uhazie

Assistant Planning Director
City of Livonia | Planning Department
(734) 466-2293 | (734) 674-7647
juhazie@livonia.gov

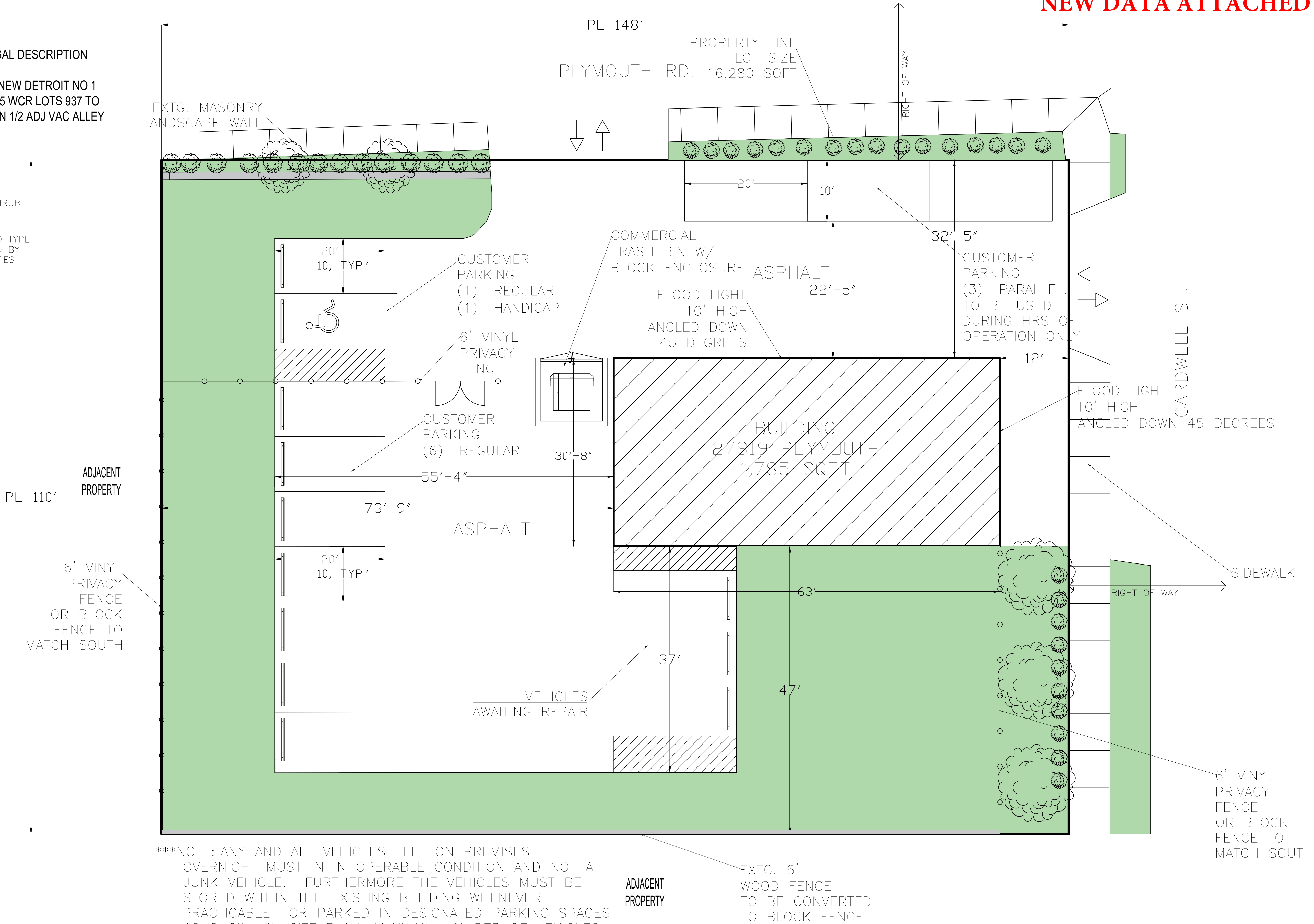
PLANNING COMMISSION
NEW DATA ATTACHED

PROPERTY LEGAL DESCRIPTION

36B937 TO 943 NEW DETROIT NO 1
T1S R9E L62 P85 WCR LOTS 937 TO
943 INCL ALSO N 1/2 ADJ VAC ALLEY



TREE, SPECIES AND TYPE
TO BE APPROVED BY
LOCAL AUTHORITIES



***NOTE: ANY AND ALL VEHICLES LEFT ON PREMISES
OVERNIGHT MUST IN IN OPERABLE CONDITION AND NOT A
JUNK VEHICLE. FURTHERMORE THE VEHICLES MUST BE
STORED WITHIN THE EXISTING BUILDING WHENEVER
PRACTICABLE OR PARKED IN DESIGNATED PARKING SPACES
AS SHOWN IN SITE PLAN. MAXIMUM NUMBER OF VEHICLES
TO BE KEPT OUT DOORS IS (10) TOTAL.

1 SITE / LANDSCAPE PLAN SKETCH
1/8" = 1'0"

General Notes

NOT FOR CONSTRUCTION

ALL EXISTING CONDITIONS AND
DIMENSIONS
SUBJECT TO FURTHER VERIFICATION
IN FIELD BY ANY FUTURE
ARCHITECT, ENGINEER AND/OR
CONTRACTOR

DESIGN PROVIDED BY OWNER

CONTRACTOR/OWNER IS SOLELY
RESPONSIBLE TO COMPLY WITH ALL
LOCAL BUILDING CODES,
REGULATIONS & STANDARDS, ZONING
ORDINANCES AND ADA COMPLIANCE

(10) TOTAL PARKING SPACES
INCLUDING (1) HANDICAP BASED ON
AT LEAST 2 SPACES PER 100 DOOR
BAY PLUS (1) FOR EACH EMPLOYEE

4,200 SQFT OF LANDSCAPING
PROVIDED, > 25% OF TOTAL SITE

1	SKETCH	2/19/25
No.	Revision/Issue	Date

Firm Name and Address

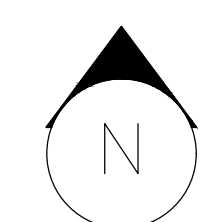
YAHANA DESIGN & CONSULTING
DEARBORN HEIGHTS, MI

Project Name and Address

27819 PLYMOUTH,
LIVONIA, MI 48150

Project	Sheet
Date 12/15/2024	A3.0
Scale 1/8" = 1'0"	

36B937 TO 943 NEW DETROIT NO 1
T1S R9E L62 P85 WCR LOTS 937 TO
943 INCL ALSO N 1/2 ADJ VAC ALLEY



$$3/8'' = 1'0''$$

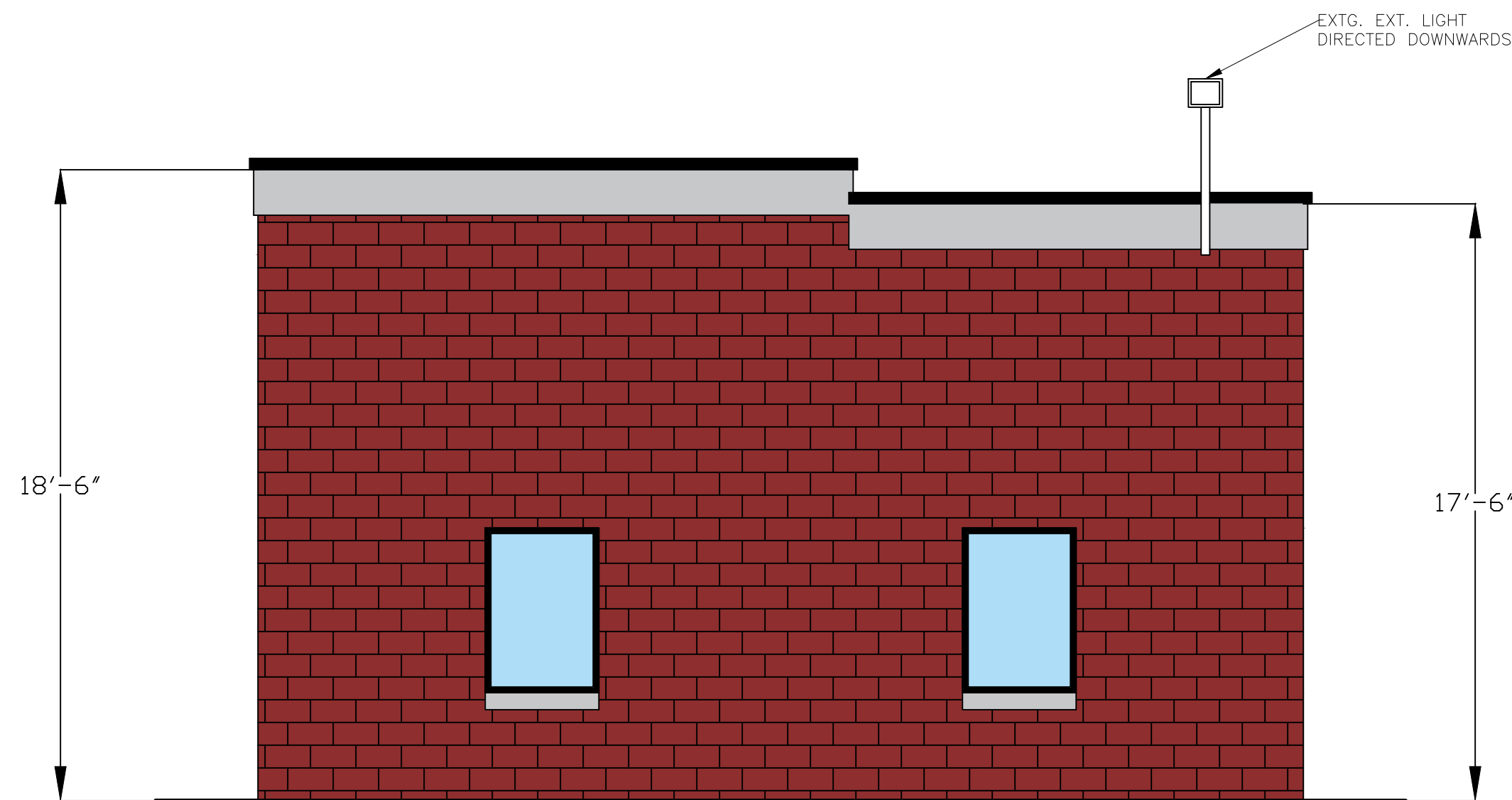
CONTRACTOR/OWNER IS SOLELY
RESPONSIBLE TO COMPLY WITH ALL
LOCAL BUILDING CODES,
REGULATIONS & STANDARDS, ZONING
ORDINANCES AND ADA COMPLIANCE

1	SKETCH	12/15/24
No.	Revision/Issue	Date

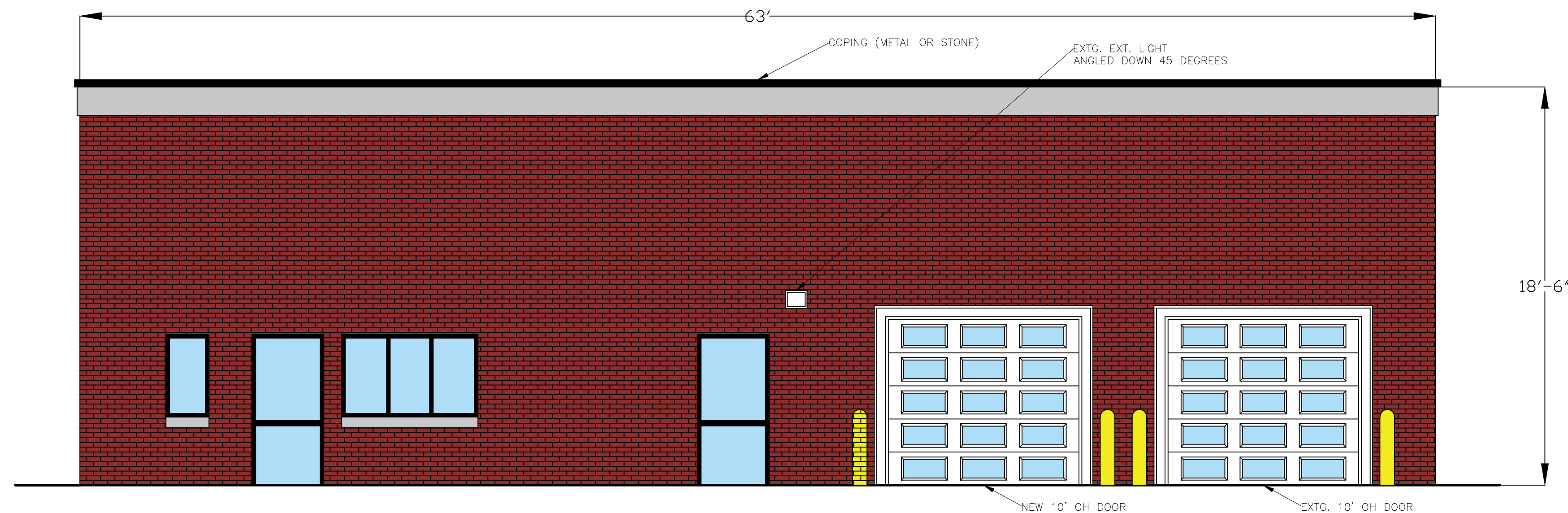
YAHANA DESIGN & CONSULTING
DEARBORN HEIGHTS, MI

27819 PLYMOUTH,
LIVONIA, MI 48150

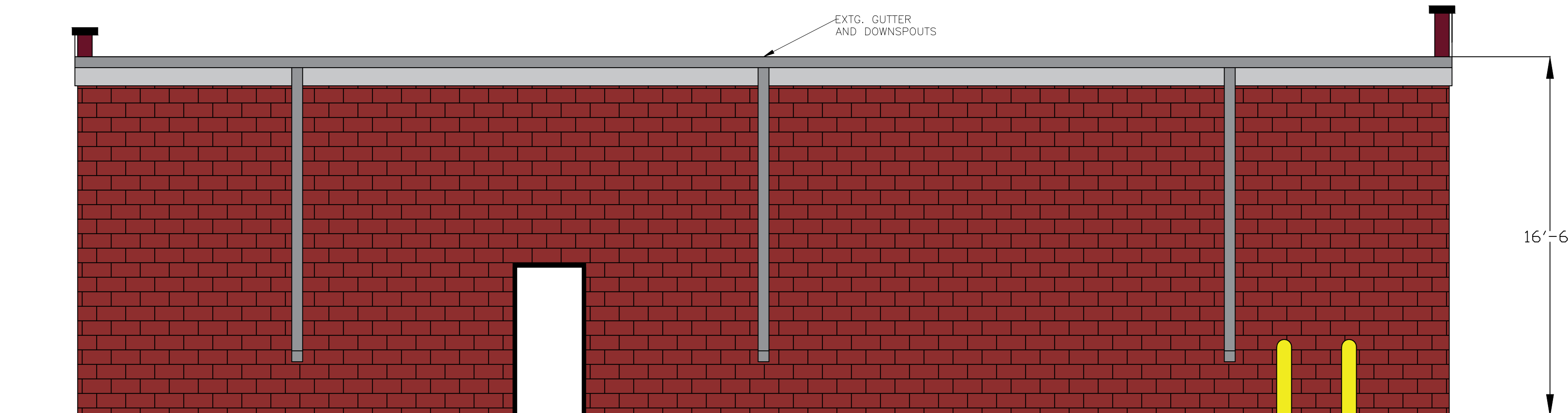
Project	Sheet
Date 12/15/2024	A1.0
Scale 3/8" = 1'0"	



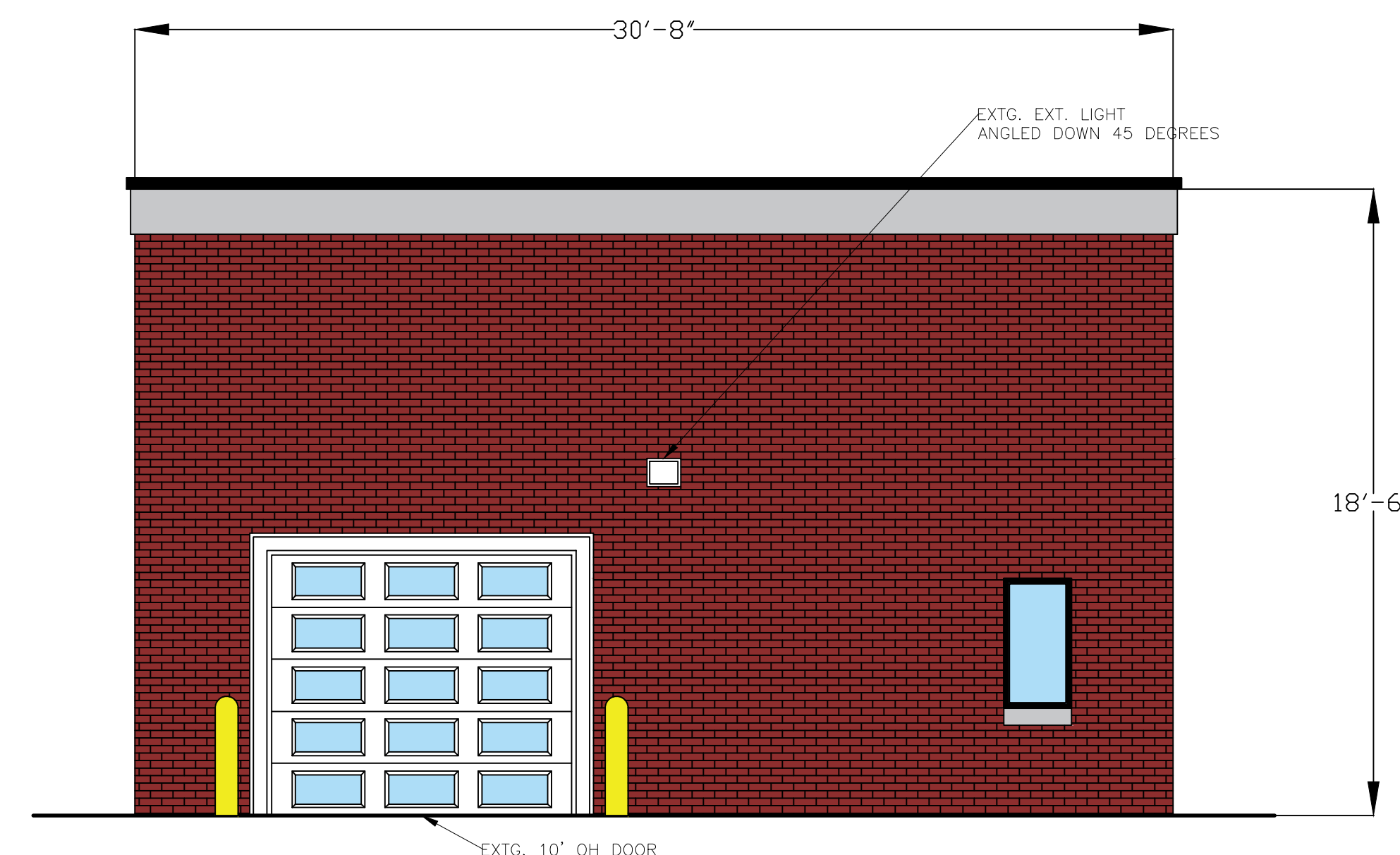
1 WEST ELEVATION SKETCH
1/4" = 1'0"



2 NORTH ELEVATION SKETCH
1/4" = 1'0"



3 SOUTH ELEVATION SKETCH
1/4" = 1'0"



4 EAST ELEVATION SKETCH
1/4" = 1'0"

PROPERTY LEGAL DESCRIPTION

36B937 TO 943 NEW DETROIT NO 1
T1S R9E L62 P85 WCR LOTS 937 TO
943 INCL ALSO N 1/2 ADJ VAC ALLEY

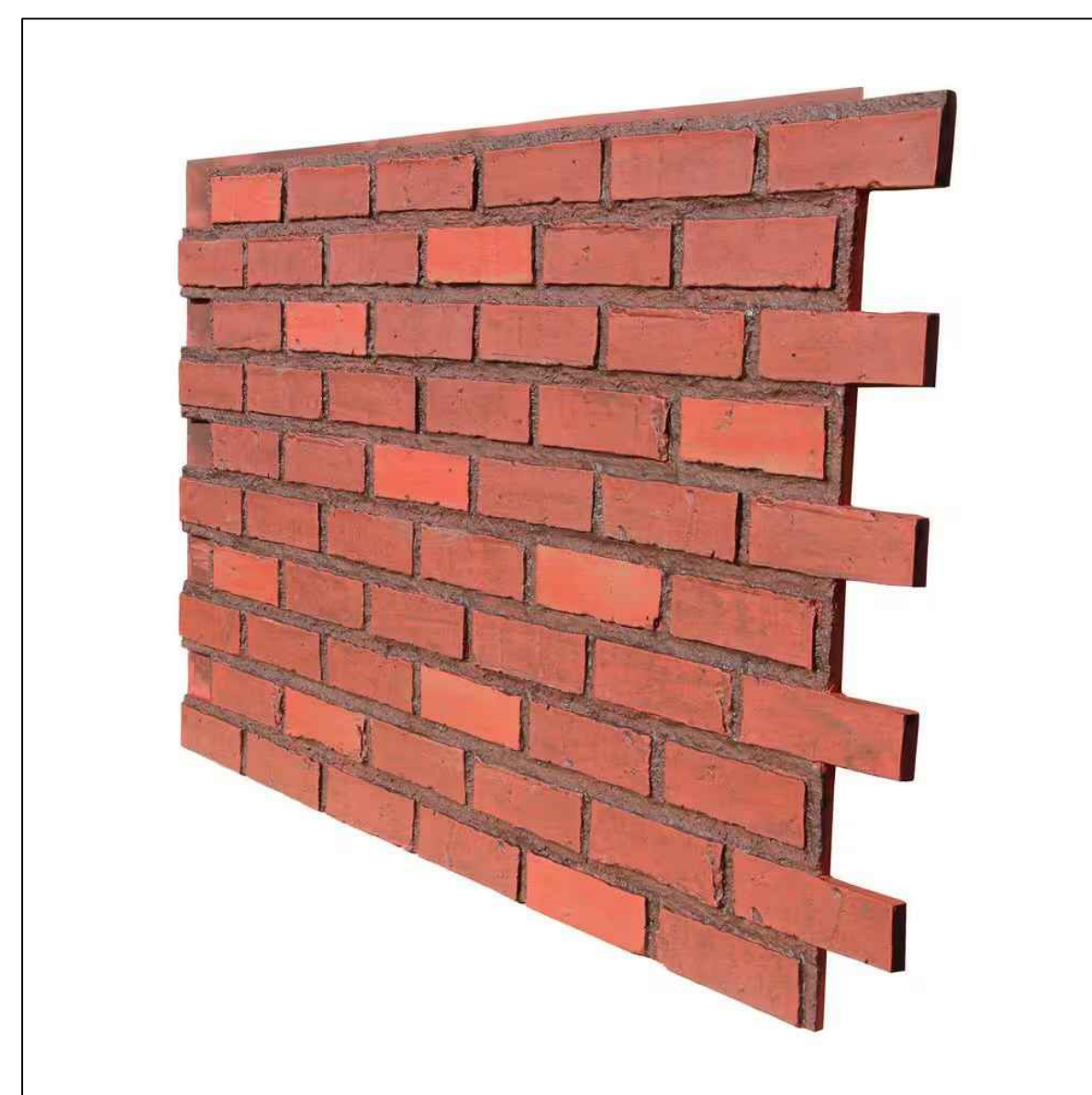


IMAGE 1

SCOPE OF WORK PROVIDED BY OWNER

NORTH AND EAST ELEVATIONS:

1. REMOVE EXISTING EXISTING STUCCO VENEER - REPLACE WITH BRICK VENEER, ENTIRE FACADE. SEE IMAGE 1
2. REMOVE CANOPY AND ALUMINUM FASCIA AND ALL ASSOCIATED FRAMING
3. NEW ALUMINUM OR STONE COPING AND FASCIA TO BE INSTALLED AT PARAPET,
4. ALL EXISTING WINDOWS, LINTELS AND DOORS TO REMAIN. NEW TRIM, FLASHING, ETC. TO BE INSTALLED
5. NEW 10' OH DOOR TO BE INSTALLED AT EXISTING LINTEL HEADER PER DRAWING
6. NEW MAN DOOR WITH ASSOCIATED HEADER AND FRAMING PER DRAWING

SOUTH AND WEST ELEVATIONS:

1. PATCH AND REPAIR EXISTING EXTERIOR BRICK/CMU WALLS
2. FINISH PAINT WITH EXTERIOR GRADE MASONRY PAINT
3. NEW ALUMINUM COPING TO BE INSTALLED AT PARAPET
4. EXISTING GUTTER AND DOWNSPOUT TO REMAIN

General Notes

NOT FOR CONSTRUCTION

ALL EXISTING CONDITIONS AND DIMENSIONS SUBJECT TO FURTHER VERIFICATION IN FIELD BY ANY FUTURE ARCHITECT, ENGINEER AND/OR CONTRACTOR

DESIGN PROVIDED BY OWNER

CONTRACTOR/OWNER IS SOLELY RESPONSIBLE TO COMPLY WITH ALL LOCAL BUILDING CODES, REGULATIONS & STANDARDS, ZONING ORDINANCES AND ADA COMPLIANCE

1	SKETCH	12/15/24
No.	Revision/Issue	Date

Firm Name and Address

YAHANA DESIGN & CONSULTING
DEARBORN HEIGHTS, MI

Project Name and Address

27819 PLYMOUTH,
LIVONIA, MI 48150

Project	Sheet
Date 12/15/2024	A2.0
Scale 1/4" = 1'0"	



LETTER TO THE LIVONIA CITY COUNCIL

3.

Planning
February 6, 2025

MEETING DATE

S022425/R031025

PRESENTED BY

Mark Taormina, Planning and Economic Development Director

AGENDA ITEM

WAIVER PETITION: Planning Commission, re: Petition 2025-01-02-01 submitted by Eman Enterprises LLC, requesting waiver use approval to redevelop an existing commercial site, including adding service bays, renovating the interior and exterior of the building and operating an automobile repair facility at 27819 Plymouth Road, located on the southwest corner of Plymouth and Cardwell Street in the Northeast $\frac{1}{4}$ of Section 34.

BACKGROUND DETAILS

February 10, 2025

Honorable Members of the City Council
City of Livonia, Michigan

Re: Petition 2025-01-02-01 - Eman Enterprises LLC

Dear Council Members:

At the 1,225th Meeting held by the Livonia City Planning Commission on February 4, 2025, the following resolution was adopted:

PREFERRED COUNCIL RECOMMENDATION/RESOLUTION (Please complete this field. Attachments are not to be used in lieu of the recommendation)

#02-03-2025 RESOLVED, That pursuant to a Public Hearing having been held by the City Planning Commission on February 4, 2025, on Petition 2025-01-02-01 submitted by Eman Enterprises LLC requesting waiver use approval pursuant to Section 6.06 of the City of Livonia Zoning Ordinance, as amended, to redevelop an existing commercial site, including adding service bays, renovating the interior and exterior of the building and operating an automobile repair facility at 27819 Plymouth Road, located on the southwest corner of Plymouth and Cardwell Street in the Northeast $\frac{1}{4}$ of Section 34, be approved subject to the following conditions:

1. That the Site Plan identified as Sheet No. A3.0, received January 31, 2025, prepared by Yahana Design & Consulting, is hereby approved and shall be adhered to;
2. That the Elevation Plan identified as Sheet No. A2, received January 31, 2025, prepared by Yahana Design & Consulting, is hereby approved and shall be adhered to;

3. Landscaping tree species shall be selected to the satisfaction of the Planning Department and shall conform with the ordinance requirements which may include the existing trees in the Plymouth Road right of way;
4. The parking lot shall be repaired and restriped as necessary. Parking spaces shall be 10' wide and 20' deep and double striped;
5. The van-accessible barrier-free parking space shall be sized, signed, and marked in accordance with the Michigan Barrier-Free Code;
6. An enclosure of sufficient height to completely screen the dumpster is required on three (3) sides of the waste receptacle, with a solid gate on the fourth side. The height of the enclosure must be not less than six (6) feet or at least one (1) foot above the height of the dumpster, whichever is greater. The enclosure gates shall be of solid panel steel construction or durable, long-lasting solid panel fiberglass and, when not in use, closed at all times. The enclosure must be constructed of the same or compatible material and colors as the principal building in terms of texture and quality;
7. A variance from the Zoning Board of Appeals would be required for the proposed 6-foot-tall vinyl fencing proposed on the east, west and south sides of the enclosed parking area;
8. That all light fixtures shall not exceed twenty feet (20') in height and shall be aimed and shielded to minimize stray light trespassing across property lines and glaring into adjacent roadways;
9. Any vehicles left on the premises overnight must be in operable condition and not junk vehicles, and must be stored inside the building whenever practicable, or parked in designated parking spaces as shown on the approved site plan, with a maximum of 10 vehicles located outside. Seven parking spaces shall be on the existing paved parking area along the west property line, and three of which shall be located as close as practicable to the south wall of the existing building, so that the existing grass area south of the building is maintained to the greatest possible extent, to the satisfaction of the Inspection and Planning Departments.
10. That on-street parking of vehicles along Cardwell Street is prohibited and no vehicles shall be parked between the building and Cardwell Street right-of-way.
11. That there shall be no outdoor storage of auto parts, equipment, scrap material, waste petroleum products, junked, unlicensed or inoperable vehicles, or other similar items in connection with this operation, and the overhead doors, when not in use for vehicles entering or exiting the service facility, shall always be closed;
12. That only conforming signage is approved with this petition, and any additional signage shall be separately submitted for review and approval by the Zoning Board of Appeals;
13. That no LED lightband or exposed neon shall be permitted on the site including, but not limited to, the building or around the windows;

14. The overall average illumination level for the parking lots shall be 1.0- foot candle as provided under Section 7.22 of the Zoning Ordinance;

15. That unless approved by the proper local authority, any type of exterior advertising, such as promotional flags, streamers or sponsor vehicles designed to attract the attention of passing motorists, shall be prohibited;

16. That the specific plans referenced in this approving resolution shall be submitted to the Inspection Department at the time the building permits are applied for; and

17. Pursuant to Section 13.13 of the Livonia Zoning Ordinance, this approval is valid for a period of one year only from the date of approval by City Council, and unless a building permit is obtained, this approval shall be null and void at the expiration of said period.

FURTHER RESOLVED, That notice of the above hearing was given in accordance with the provisions of Section 13.13 of Livonia Zoning Ordinance, as amended.

ATTACHMENTS

1. 2025-01-02-01_E-COUNCIL Pkt

APPROVED BY



Mark Taormina, Planning and Economic Development Director

Date: February 12, 2025



Maureen Miller Brosnan, Mayor

Date: February 14, 2025

Petition 2025-01-02-01 submitted by Eman Enterprises LLC

requesting waiver use approval pursuant to Section 6.06 of the City of Livonia Zoning Ordinance, as amended, to redevelop an existing commercial site, including adding service bays, renovating the interior and exterior of the building and operating an automobile repair facility at 27819 Plymouth Road, located on the southwest corner of Plymouth and Cardwell Street in the Northeast ¼ of Section 34.

CITY OF LIVONIA, MICHIGAN
APPLICATION FOR WAIVER USE APPROVAL

All applications must be presented in triplicate to the City Clerk, 33000 Civic Center Drive, Livonia, MI 48154-3097. Applications **must** include property owner's name, address and notarized signature.

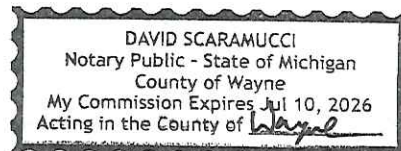
For filing fee see below for computation

Date Filed: 1-2-25 Petition 2025-1-02-01
Site Address: 27819 Plymouth Rd Sidwell 141 02 0937 000 Zoning of Property C-2
Requesting Approval To Automotive Repair
Applicant: Mohammed Essa Business/Company: Eman Enterprises LLC
Applicant's Address: 4320 Seymour City: Dearborn State: Mi Zip Code: 48126
Applicant's Phone # (313) 850-7130 Applicant's Email Moessa1@yahoo.com
Contact Person: MOE Business/Company: _____
Contact's Address: 4320 Seymour City: Dearborn State: Mi Zip Code: 48126
Contact's Phone # (313) 850-7130 Contact's Email Moessa1@yahoo.com

Please provide the following information:

- 1) **Site Plan** showing:
 - property dimensions, including road right-of-way & building setback lines
 - foot print of building(s), including dimensions & square footage
 - all easements, protective walls, sidewalks & existing trees
 - any significant topographic features (existing or proposed)
 - parking layout, including type of surface material, sizes of spaces & aisles
 - method used in calculating parking requirement
 - location of light standards servicing parking lot & cutout showing type & height
 - location of trash receptacle, including description of screening
 - location of signs
- 2) **Detailed Landscape Plan** including:
 - listing or labeling of all planted materials as to type and size
 - areas to be fully irrigated
 - percentage of landscaping provided (15% of total site required)
- 3) **Building Elevation Plan** depicting:
 - architectural quality
 - wall section & detail plan - exterior building materials must be labeled (i.e. brick, thin brick, E.F.I.S.)
 - all visible rooftop mechanical equipment and how they will be screened
- 4) **General Floor Plan** showing:
 - floor layout
 - entrances & exits
 - restaurants are required to illustrate seating arrangement & capacity
- 5) **One (1) set of reduced plans** (i.e. site, landscape, elevation, floor), **a maximum 11" x 17" in size, or digital file in a .pdf format either on CD or emailed to planning@livonia.gov**
- 6) **Legal Description** of the property to be considered (Clearly Printed)
- 7) Three (3) completed application forms & **three (3)** sets of full-size drawings

RECEIVED
OFFICE OF THE CITY CLERK
2025 JAN -2 PM 3:08



You are invited and encouraged to review your proposal with the Planning Department staff. Only one set of preliminary drawings will be necessary for this analysis.

FEE COMPUTATION	\$700.00	(\$400 publication fee plus \$300 base review fee) plus
<u>0</u> sq. ft. of new construction x \$20.00 per 1,000 sq. ft. plus \$30 per lot or unit for residential construction.		
	(NOTE: Round off to nearest 1,000)	+
	Total Amount Due	\$ <u>700.00</u>

Owner of Property: Eman Enterprises LLC
Owner's Address: 4320 Seymour City: Dearborn State: Mi Zip Code: 48126
Owner's Phone # (313) 850-7130 Owner's Email Moessa1@yahoo.com
Signature of Owner: [Signature] Print Name: Mohammad Essa
Subscribed and sworn to before me, a Notary Public in and for the County of Wayne State of Michigan
on this 2nd day of January 2025.
Signature of Notary [Signature] My commission expires 07/10/2026.
Acting in the County of Wayne.

UNAPPROVED MINUTES

1

MINUTES OF THE 1,225th PUBLIC HEARINGS AND REGULAR MEETING HELD BY THE CITY PLANNING COMMISSION OF THE CITY OF LIVONIA

On Tuesday, February 4, 2025, the City Planning Commission of the City of Livonia held its 1,225th Public Hearing and Regular Meetings in the Livonia City Hall, 33000 Civic Center Drive, Livonia, Michigan.

Mr. Ian Wilshaw, Chairman, called the meeting to order at 7 p.m.

Members present: Wafa Dinaro Patrick Droze David Bongero
 Sam Caramagno Glen Long Peter Ventura
 Ian Wilshaw

Members absent: None

Mr. Jacob Uhazie, Planning Director, and Stephanie Reece, Program Supervisor, were also present.

Chairman Wilshaw informed the audience that if a petition on tonight's agenda involves a rezoning request, this Commission makes a recommendation to the City Council who, in turn, will hold its own public hearing and make the final determination as to whether a petition is approved or denied. The Planning Commission holds the only public hearing on a request for preliminary plat and/or vacating petition. The Commission's recommendation is forwarded to the City Council for the final determination as to whether a plat is accepted or rejected. If a petition requesting a waiver of use or site plan approval is denied tonight, the petitioner has ten days in which to appeal the decision, in writing, to the City Council. Resolutions adopted by the City Planning Commission become effective seven (7) days after the date of adoption. The Planning Commission and the professional staff have reviewed each of these petitions upon their filing. The staff has furnished the Commission with both approving and denying resolutions, which the Commission may, or may not, use depending on the outcome of the proceedings tonight.

ITEM #1 PETITION 2025-01-02-01

Eman Enterprises

Mr. Caramagno, Secretary, announced the first item on the agenda, Petition 2025-01-02-01 submitted by Eman Enterprises LLC requesting waiver use approval pursuant to Section 6.06 of the City of Livonia Zoning Ordinance, as amended, to redevelop an existing commercial site, including adding service bays, renovating the interior and exterior of the building and operating an automobile repair facility at 27819 Plymouth Road, located

on the southwest corner of Plymouth and Cardwell Street in the Northeast ¼ of Section 34.

Mr. Wilshaw: Thank you, Mr. Secretary, Mr. Uhazie.

Mr. Uhazie: This is a request to renovate and operate automobile and light truck repair up to one ton, which is regulated under Section 6.06 of the zoning ordinance. As mentioned, it is located on the southwest corner of Plymouth and Cardwell Street. The existing zoning is C-2 (General business). To the north and northwest are commercial properties which are zoned C-1 (Local business), while the northeast is zoned C-2 as well. To the east, across Cardwell Street is the Royal Motor Inn, which is zoned C-2. To the south is the Thomas Elliott subdivision and is zoned N1 for neighborhood. And finally, to the west of the site is a small commercial building zoned C-2. A little history on the site. The site was previously approved to be light auto repair facility in 1971 and again in 1982, although the use was never put into operation. The prior occupant was Mickey Shorr Electronics, who was granted approval to expand the existing building in 1987. The building currently sits vacant. The subject property is 0.37 acres in area with 148 feet of frontage on Plymouth Road and 110 feet along Cardwell Street. The existing building measures approximately 2,049 square feet with two driveways that provide access to the site, one on Plymouth Road and another off of Cardwell Street. Parking requirements for automobile and truck repair facilities are required as two spaces for each workstation, plus one space per employee. The floor plan shows three bays and three workstations that would operate with up to three employees. The minimum required parking is nine for the three bays. We have received an updated site plan since our study session. This new site plan shows three parallel parking spaces next to the Plymouth Road right of way, and an additional eight parking spaces along the western property line. The parking configuration on the plan shows five parking spaces are located in front of the site, and another 10 additional spaces are behind the proposed fencing area. Under Section 6.06 all vehicles left at the facility for repair overnight must be stored within the building, and absolutely no dismantled damage or unlicensed vehicles shall be permitted on the site. The ordinance also states that the total number of vehicles stored and awaiting work shall be subject to recommendation by the Planning Commission and be approved by City Council. Another change from the study session is the dumpster enclosure has been moved from the rear of the site and attached to the northwest corner of the building. The site plan

shows additional landscaping was added along Plymouth Road and Cardwell Street. Along Plymouth Road, there are 14 shrubs, two trees, which are located in front of the PRDA fencing, and an additional 16 shrubs located between the driveway and the corner. On Cardwell Street the plan shows three deciduous trees and 10 shrubs. The shrub species are listed as boxwood and the type of trees not given, but the plan states that the specific species will be selected from the Livonia approved species list. The zoning ordinance requires the following on Plymouth Road: three deciduous trees or evergreen, two ornamental trees and 24 shrubs, and along Cardwell Street, two deciduous trees or evergreen, one ornamental and 10 shrubs. The site plan also shows updates to the existing and proposed fencing. The existing wooden fence at the rear of the property would be replaced with a six-foot high masonry wall. The rest of the fencing is listed as being a six-foot-high vinyl privacy fence, or block fence to match the proposed rear wall. No signage plans were submitted with this petition. On the elevations the existing stucco veneer would be replaced by a brick veneer on the north and east walls. The canopy, aluminum fascia and all associated framing would be removed and replaced with the new aluminum or stone coping and fascia at the parapet. All the existing windows and doors would remain. On the south and west elevation, exterior brick or CMU walls will be patched and repaired. The new elevation plan shows the daylighting of existing windows that are currently bricked over. One new window is shown on the east elevation, and there are two additional windows shown on the north elevation. Additionally, the updated elevation plan identifies lighting that will be angled down at 45 degrees. With that, Mr. Chairman, I can read out the departmental correspondence.

Mr. Wilshaw: Yes, please.

Mr. Uhazie: The first item is from the Engineering Division, dated January 16, 2025, which reads as follows: *"In accordance with your request, the Engineering Division has reviewed the above referenced petition. We have no objections to the proposed waiver use at this time, but would like to note the following items: 1. The subject parcel is assigned the address of #27819 Plymouth Road. Should additional addresses be needed, the Owner will need to contact this Department once approvals have been obtained. 2. The existing parcel is currently serviced by public sanitary sewer and water main. The submitted drawings do not include any proposed utility information or calculations, so we cannot comment on any proposed impacts*

to the existing systems, but we do not believe the proposed usage will adversely affect the existing utilities. Should alterations to the existing services be required, the owner shall submit drawings to this department to determine if permits will be required. 3. Although the drawings do not indicate any future utility information, it should be noted the any proposed re-development other than building renovations will be required to provide storm water improvements and detention per the Wayne County Stormwater Ordinance . 4. Any disturbances with the Plymouth Road right-of-way will require permits through the Michigan Department of Transportation, including drive approach and sidewalk removals and placements.” The letter is signed by David W. Lear, P.E., Assistant City Engineer. The next letter is from the Livonia Fire & Rescue Division, dated January 31, 2025, which reads as follows: “ This office has reviewed the site plan submitted in connection with a request to renovate a commercial building on the property located at the above referenced address. We have no objections to this proposal with the following stipulations: Evaluation for possible suppression system and fire alarm installation due to vehicles that are EV. A further detailed plan review will take place when this division receives an official plan set.” The letter is signed by Brian Kukla, Fire Marshal. The next letter is from the Division of Police, dated January 17, 2025, which reads as follows: “I have reviewed the plans in connection with the petition. I have no objections to the proposal.” The letter is signed by Paul Walters, Sergeant, Traffic Bureau. The next letter is from the Inspection Department, dated January 29, 2025, which reads as follows: "Pursuant to your request, the above-referenced Petition has been reviewed. 1. The parking lot shall be repaired and restriped as necessary. Parking spaces shall be 10' wide and 20' deep and double striped. 2. The van-accessible barrier-free parking space shall be sized, signed, and marked in accordance with the Michigan Barrier-Free Code. 3. An enclosure of sufficient height to completely screen the dumpster is required on three (3) sides of the waste receptacle, with a solid gate on the fourth side. The height of the enclosure must be not less than six (6) feet or at least one (1) foot above the height of the dumpster, whichever is greater. The enclosure gates shall be of solid panel steel construction or durable, long-lasting solid panel fiberglass and, when not in use, closed at all times. The enclosure must be constructed of the same or compatible material and colors as the principal building in terms of texture and quality. 4. A variance from the Zoning Board of Appeals would be required for the proposed 6' tall vinyl fencing proposed. This Department has no further objections to this

Petition..” The letter is signed by Jerome Hanna, Director of Inspection. The next letter is from the Finance Department, dated January 31, 2025, which reads as follows: “I have reviewed the addresses connected with the above noted petition. As there are no outstanding amounts receivable, general or water and sewer, I have no objections to the proposal.” The letter is signed by Connie Kumpula, Chief Accountant. The next letter is from the Treasurer’s Department, dated January 17, 2025, which reads as follows: “All taxes on this property are current.” The letter is signed by Susie Nash, Treasurer. Next is a letter from a resident, dated February 3, 2025, which reads as follows: “Dear City of Livonia Planning Commission and everyone this letter concerns, I am writing this letter regarding petition 2025-01-02-01 submitted by Eman Enterprises LLC. Property known as 27819 Plymouth Rd Livonia, MI. I own the residential property that is right next door to the above-mentioned property. I am writing this letter asking you not to approve this type of business. I will state my reasons. This property is not a large property. This would mean cars that are waiting to be worked on would be stored outside. The person that is looking at buying or leasing the mentioned property is already using the property to store vehicles. I have seen a tow truck going in and out of the property. Where would this tow truck be stored? Visually with the stored cars and tow truck, this would not be a good look to our neighborhood and community. This building currently has two bay doors. One facing north toward Plymouth Rd. The other facing east exiting out on to Cardwell. Cardwell is a residential street. Automobile repair facilities like the one mentioned above are generally noisy businesses. Air compressors are generally used with air tools such as air impact guns, air chisels and a variety of other air tools and hammering tools to remove broken and stuck parts on vehicles. There is also the noise of the tow truck and vehicles being moved around and stored on the property. Please refer to the maps of how my property 11563 Cardwell and 27819 Plymouth Rd are in close proximity of each other. There is very little distance between my residence and the business that is looking to get a waiver to use this property. The reason this property is not zoned for this type of business is to protect the residents from the above-mentioned concerns and noise. City of Livonia Planning Commission please look at the number of already existing auto repair facilities we already have in this area. The one mile of Plymouth Rd, between Middlebelt and Inkster roads, there are already seven Automobile repair facilities and one car wash. 1. Firestone Complete Auto Care 29200 Plymouth Rd. 2. Livonia Car & Truck Repair 28850

Plymouth Rd 3. Oval Auto Repair 28735 Plymouth Rd 4. Speedy Auto Service 28411 Plymouth Rd 5. Livonia Auto Sellers 29068 Plymouth Rd 6. Feinn Tire Repair Facility 28055 Plymouth Rd 7. Raceway Pit Stop 28085 Plymouth Rd 8. Zax Auto Wash 36001 Plymouth Rd I would also like to remind the City of Livonia Planning Commission that a few years ago you denied a rezoning for a car dealership/repair facility for the same concerns as I have mentioned above. The property I am referring to is located at 28121 Plymouth Rd Livonia, MI 48150. This property was the former location of Penalty Box Bar. I ask that you reference back to the reason you did not rezone the above mentioned property and denied a waiver of use. One of the main reasons this business was denied a waiver of use, the size of the property and how close it was to the proximity of residential homes. This property at 28121 Plymouth Rd is larger in size and has more distance from the resident's home then the property at 27819 Plymouth Rd which is next to where I live. Another reason the Planning Commission denied a "waiver of use permit" was concern of noise pollution to the residential neighborhood. In closing, Livonia has zoning ordinances for a reason. The reason is to protect residents and neighborhoods from businesses that do not fit in a particular location. This business does not belong at this location and that is why a "waiver of use permit" is being asked for. I ask the City of Livonia to enforce the current zoning laws and deny this business. Thank you for your time." The letter is signed Jeff Nicholas, 11563 Cardwell, Livonia, MI. The last letter is from a resident, dated February 4, 2025, which reads as follows: "In regards to this I have some concerns. I am all for businesses being rehabilitated but when we have so many other car repair facilities on Plymouth road how will this affect business. What is the sound impact? Currently there is a bay that faces the neighborhood and my backyard faces that. I don't want to hear the various repair tools running all day. It's a large disruption to anyone If the business were to go in, I would say that the bays in use could only face Plymouth road, this would held reduce any excess noise going into it the neighborhood. No doors or bays facing residential areas. I can't imagine the sound for the person who lives directly behind it. I think there are other more commercial slots this would fit in. If the petition passes , I would also suggest that additional landscaping be put I place to reduce noise. What are the hours of this proposed business? Are we to hear the noise all day/evening and weekend? I enjoy my backyard and also wfh, if all I hear is pneumatic tools it will distract from enjoying my home and I would have to keep windows shut to avoid interruption to my work. Where will

excess cars be parked? The lot is very very small and there is no room for parking. Will they park in the streets blocking spots for any residents to use? Overall I disagree with the petition and hope that Livonia agrees. Mickey shores was bad enough this will only be worse." The email is signed Kelly Richard, Cavell St., Livonia, MI. That is the extent of the correspondence.

- Mr. Wilshaw: Is there anything else, Mr. Uhazie? Okay. Ms. Reece, just a question for you. You don't see this picture on the TV on the outside, do you? I don't think anybody's in the booth broadcasting. I just looked and I don't think we're live, so...I don't know they fall asleep or what? Thank you. I appreciate that.
- Mr. Wilshaw: We'll continue on with the meeting, though, because the show must go on, as they say, as our petitioner here. If you want to come forward to our podium. Is there any questions for our planning staff before we hear...Mr. Droze.
- Mr. Droze: I guess there is a question about landscaping. Do we count landscaping in the right way towards the site, or does it need to be on the site proper?
- Mr. Uhazie: We count on the site proper, but there have been cases where if the space isn't available, that can be counted or in lieu of some kind of stuff that we would require.
- Mr. Droze: And then one other question. There was a note on the building official regarding a variance being required for the fence. Is that related to the vinyl fence or the wall.
- Mr. Uhazie: I read that as the fencing along the west of the property adjacent to the other commercial properties.
- Mr. Droze: Okay, any idea why? Is that just typical?
- Mr. Uhazie: That's just the typical fencing process.
- Mr. Droze: Okay, got it. And then the last question, did we receive any information regarding the masonry wall? And maybe the petitioner can offer that, but I didn't see anything in the packet about the materials.
- Mr. Uhazie: No details about materials, just that it would be changed to a masonry wall.

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- Mr. Droze: Okay, thank you.
- Mr. Wilshaw: Thank you. Mr. Droze. Any other questions?
- Mr. Uhazie: I don't know why this went out.
- Mr. Wilshaw: Yeah, I think we got our broadcast going, though that may have knocked out your feed there.
- Mr. Wilshaw: I will let you work on that. Thank you. Ms Reece, for checking on that. Any other questions for planning staff? Mr. Bongero.
- Mr. Bongero: Jacob, so in the ordinance 6.06 they can't have any cars outside. They all have to be pulled inside the building at the end of the day?
- Mr. Uhazie: Unless that is waived by the Planning Commission and Council. It stipulates that, based off the plan, they can keep x amount of cars...
- Mr. Bongero: Because it's kind of confusing. It says no...all vehicles that are left for repair overnight must be stored within the building, and then it says Planning or Council can dictate how many numbers are stored inside.
- Mr. Uhazie: It is a little confusing, but if the Commission and Council decide to waive that, they can park the set number of cars outside in the rear part.
- Mr. Wilshaw: Okay, that's it. Appreciate Thank you.
- Mr. Wilshaw: Thank you, Mr. Bongero. Any other questions for staff? Okay, I think we covered all that. Thank you, sir, for being here tonight. You're our petitioner, if you want to start with your name and address for our record.
- Mohammed Essa, 27819 Plymouth Road, Livonia, MI.
- Mr. Wilshaw: Excellent. Thank you, sir. And what would you like to tell us about your business that you want to operate here?
- Mr. Essa: Well, the business, I believe, has been auto related since it was built. I think it was originally a gas station with auto service when it was originally built. I would like to continue the auto service. But, you know, include auto repair. There's currently three existing bay doors. The third door is hidden. I showed you guys

pictures last week, so that overhead door is still there. There's two in ground hoists that will be removed above hoist instead. So I would like to operate as an auto repair, light auto repair, you know, maintenance, brakes, tune ups, tires, mufflers, you know, exhaust, whatever, just maintenance, like the Midas down the street, basically. As far as I think Patrick was trying to zone in on the two trees, there's two Wayne County trees that are between Plymouth Road and the sidewalk. So, when we did the landscaping, I spoke with Jacob, I told him there's two already existing. I know they're not on the city side, but there's two on there, so we thought maybe we'll present that. We'll only plant the three in the front. That'll be a total of five, but if more are required, you know, we don't have a problem putting more trees. As far as that fence in the back, the whole reason to enclose that fence is to leave some cars outside overnight. The three parallel parking spots that we're proposing in front are only to be used during hours of operation. So, you can see that on the site plan. So if there is anything that's going to stay overnight, it'll be behind the wall. Nobody will see them from Plymouth Road at all.

Mr. Wilshaw: It'll be in the fenced area.

Mr. Essa: In the fenced area, correct.

Mr. Wilshaw: Anything else you'd like to tell us about your business before we go to questions?

Mr. Essa: Not really. I mean, unless you have any questions,

Mr. Wilshaw: We'll see what we have here. Any questions for our petitioner? Ms Dinaro.

Ms. Dinaro: I have some questions. So, since we saw the site plan at the study session, there's quite a few changes. Can you talk me through, specifically the fencing, the lighting and the landscaping?

Mr. Essa: Sure. Well, the fencing, the rear wall, Jacob told us, must be masonry, so we have to put that masonry. Depending on the pricing, and you know how it's going to turn out, I assume the east and west, you know, I didn't know whether I was going to go vinyl or masonry to match the rear wall yet, until I see what the estimates are for that. But the rear wall must be masonry because it attaches to a resident, so that's why we changed that to masonry instead of vinyl. The landscaping was updated

because it needed to be beefed up, as Jacob told us, so we tried to meet all of the ordinance requirements. I believe we met the shrub requirements on the north and the east side. We met the tree requirements on the east side, on Cardwell Street and on the north side, if you include the two trees that are preexisting from Wayne County, then we should meet those requirements as well. If you need more trees or shrubs, you know, I'm not opposed to it. Lighting is going to be nothing is going to shine towards the street. They're going to be 45 degrees or down. I was planning on just having building mounted lights, but I think Jacob told me that he would like a pole. So, if I do put a pole in the back area where the fence is, it'll be towards the rear residence, facing the building so the rear resident will not have any visual effects. And another thing that noise complaints. So noise, you know this Mickey Shorr used to install audio equipment and alarms with boom boxes and kicker boxes and stuff. I'm not sure if any of you are familiar with what that is, but I don't believe auto repair shop will generate as nearly as much sound as Mickey Shorr used to. And all of the tools that are used these days, or 90% of them, are electronic these days, so all the impacts and everything in air red are ratchets have been converted to electrical tools like your drills and stuff at home, so there's no more loud air tools there. It will be an air compressor, but it's going to be only used for the tire machine and for airing up vehicles. Mickey Shorr had a air compressor at all times in their facility. So, I don't think it's going to cause noise disturbance, to be honest. As far as smell, I think I seen the report somebody...smell pollution or whatever. This is not an auto body shop. So, there's no paint work. There's no bondo work. You know? There's no fumes.

Ms. Dinaro: So, just a follow-up question. So, there's going to be three bay doors, two facing Plymouth, one facing the neighborhood. What are they all used for? Can you tell me about the uses? Are they different?

Mr. Essa: They're all the same depending on how many vehicles you have to work on.

Ms. Dinaro: Okay? Thank you.

Mr. Wilshaw: Thank you. Ms Dinaro. Any other questions? Mr. Ventura.

Mr. Ventura: Just to follow up on Ms. Dinaro's question. So there's no bay door facing south, facing the house behind you.

Mr. Essa: No, no, no doors facing south, just one on the east.

Mr. Ventura: So the only bay door that is not facing Plymouth Road is facing Cardwell on the east, correct? And on the other side of Cardwell from there is the motel, not a resident, correct?

Mr. Essa: Correct.

Mr. Ventura: It's a motel. So, you really don't have a bay door facing anybody's house.

Mr. Essa: No.

Mr. Ventura: Do you own a tow truck? Are you gonna have a tow truck there?

Mr. Essa: I own a tow truck, Yes, I do on a tow truck.

Mr. Ventura: And how do you...why do you have this truck? What do you do with that?

Mr. Essa: Well, I had two other businesses. I told you I was selling the one in Redford, right? So, I do have a tow truck that's gonna stay with me. Am I gonna leave it here? Am I gonna leave in Plymouth? I don't know, but if I do leave it here, or if it does be here, it'll be behind the brick wall. It's a little wrecker.

Mr. Ventura: How many vehicles do you anticipate would be in the fenced area on an ongoing basis? In other words, if we were to approve this and say we would authorize three vehicles out there overnight within the fenced area, would that, would that be sufficient?

Mr. Essa: Well, I hope to be a lot busier than that, but I don't know. I would think, I would expect at least 10 overnight in the rear, if you know, and I'm trying to close this. There are other auto repair shops down Plymouth Road. I know they're probably grandfathered, and they have no privacy fences at all, and they have cars in their lot overnight all the time, but I'm hoping I'll be way more successful than three behind the building. Now I can bring two per bay if I raise one up and stick one underneath it, maybe. If they're little cars, but do I really want to do that all winter long? And, you know, rainy days and stuff I don't know, I'd rather avoid that. The whole the whole point of putting that wall up or that privacy fence is to...

Mr. Ventura: Hide the cars

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- Mr. Essa: Correct, so it's not a disturbance or a nuisance or eyesore. So that's the whole point of putting that fence. If no cars are going to be allowed outside, then I can avoid spending all that money on that fence.
- Mr. Ventura: What do you anticipate your hours of operation to be?
- Mr. Essa: Generally, my hours are nine to six, but if I have to put something on record, I would like to say eight to seven, just in case. Someone gets their a little early five days a week, Monday through Saturday.
- Mr. Ventura: Six days a week.
- Mr. Essa: Yeah, Saturday, usually 10 to four, 10, to five. Well, again, I'd rather give those...
- Mr. Ventura: Closed on Sundays?
- Mr. Essa: Closed on Sundays.
- Mr. Ventura: Jacob, did we have all the pictures? Did they come back up again for everybody, for the exterior. So, the total exterior the building is going to be resurfaced with brick?
- Mr. Essa: No, just the north and the east. The west and the south are going to be fixed and painted. They're really not that bad. It's just cinder block. But there's no point to rephrase those I believe, and spend that kind of money when those two sides are hidden, you know. But the entire outside of the building is going to be renewed. The north side and the east side will be updated. Updated and brand new with veneer, and the west and south was going to be painted. It'll look new, but it's not going to be. I'm not going to veneer, is what I'm saying.
- Mr. Ventura: Understood. All right. Thank you.
- Mr. Wilshaw: Thank you. Mr. Ventura. Any other questions for our petitioner? Mr. Droze.
- Mr. Droze: Thanks for making some of the updates to the plan that we noted at the study session, but I will ask about a couple ones that I didn't see. So, we had talked a little bit about potentially reducing some of the continuous driveway along Cardwell and introducing green space maybe. Maybe talk to that decision about why that wasn't included.

- Mr. Essa: Correct. I spoke with Jacob about that, and I don't mind, I don't mind putting the grass there. It's very small area. I thought if somebody were to park there, it's more money for Livonia, because they can ticket him. You know what I mean? Because I'm never going to park there. And I don't assume anyone will. It's really a small area. It's not big. It's not made for a vehicle. My thing is, the cement there is 12 inches thick. This is an old gas station. And back in the 50s, they were putting in cement 12 inches thick and on top of that you have four inches of asphalt. So, do I want to cut through that and put grass, I don't know, unless I build like, above ground garden, you know. I don't know what the name of it is, but I can make something like that to go there. But I really don't want to rip up the cement floor. And those sidewalks, by the way, somebody changed them. They're not three feet, they are like five feet wide over there.
- Mr. Droze: And then the three parking spaces in front. Again, the site is over parked. I think Jacob, Mr. Uhazie, you said nine spaces was required, we have 15. Was there any consideration given to giving more green space along the Plymouth road frontage?
- Mr. Essa: We could, but the same thing applied about the cement and the asphalt. It really is tech. It really is. I mean, I'm not making this up. If somebody comes out there and takes a sample, you'll see. It's not easy to just rip and apply grass.
- Mr. Droze: I understand.
- Mr. Essa: Yeah, no problem. I was hoping we can waive that variance, but I don't know if you need me to build above ground garden, or like landscape area between the building and the side bay, because I'm not opposed to that, because no car can fit there anyway. I really didn't feel like ripping up the ground. You know, that's all.
- Mr. Droze: Understood. The other one that we...you touched on is lighting. So, you mentioned that you potentially would add some light poles in the back of the site potentially, or is that...
- Mr. Essa: If need be. Again, I'm not worried about theft, you know, I think Livonia is pretty safe. And if it's gonna be a masonry wall and it's gonna be locked, you know, I don't think I'll have a problem, but if I do, then it'll be against the rear what is now the wooden fence facing Plymouth Road, either had a 45 or down, okay, if

we have to put... I was hoping to put just building mounted lights.

Mr. Droze: Okay, yeah. And again, the point of that was, and I did see them on the back of the building, was really just more so for the neighbors, if that it is 45 but it's still a line of sight. So ideally, if you could incorporate some...

Mr. Essa: Yeah, I don't mind. We can do that.

Mr. Droze: I wanted to ask you the decision to move the dumpster forward, can you speak about that?

Mr. Essa: Yeah, that came up with my engineer, if we're going to put a masonry wall and a fence in the front some of these garbage companies. I see them coming at 4,5,6, in the morning, even before we get there. So how am I going to let them in if that gate is going to be locked, the front gate? Because I don't expect to leave that gate to get in the back, open or unlocked at all times. So, I would like to lock it. That's the only means of security I would have. So, to get around that we have to move it up front so we don't have to be there if the dumpster guy comes. That was the only reason why we brought it there.

Mr. Droze: Understood. And the plan notes asphalt or gravel for the parking lot in back. And I'll tell you what I'm getting at with this concern. So obviously, we're going to have vehicles that you know potentially have some problems that might be leaking, whether it's fuel oil, whatever the liquid might be, I think our hope would be that be an impervious surface, like a asphalt or a concrete,. And then I guess a question, have you looked at the drainage? Because right now, I think that area kind of runs off to the street. Do you plan to do storm sewer and potentially water quality for moving oils and sediments?

Mr. Essa: I want to stayaway from any storm water, because Wayne County i think requires some underground detention. So, I want to stay away from doing anything storm water. That's why I wasn't expanding the building or doing anything with the building itself, other than refacing it.

Mr. Droze: Okay, but you do intend to manage the drainage within your site and not put it out to the street.

Mr. Essa: To be honest with you, I haven't even looked at the drainage to see if there's any sewers or anything on the property. I never went back there, really, not as of yet. I mean, I went back there,

but I didn't inspect for that, to be honest. I just looked at the yard and seen how it was okay, but I can take a look and get back to you, I don't know.

Mr. Droze: And then I guess my last question on the fencing, obviously, it's adjoining with the neighbors. Have you had conversations about the material that you'd use for that? Do you have samples that?

Mr. Essa: No, not yet. Not yet. The only thing I noted it's going to be a split face, where it's not just going to be a regular cinder block, you know, flat cinder block. So it's going to be a split face, I think he called it, where it's got some type of texture or design to it.

Mr. Droze: Okay. I think that covers my questions. Thank you.

Mr. Wilshaw: Thank you. Mr. Droze. Any other questions for Mr. Essa? Mr. Caramagno.

Mr. Caramagno: I do, I do have a couple questions. What is going to happen here different than what happens at your Plymouth property, Plymouth Township property, and your Redford properties?

Mr. Essa: Well, the Plymouth Township property, I'm still...all my plans are with the engineer, and I had a problem with that, because that site was contaminated, so I'm still working with EGLE. I never moved to refinish that one yet, I have a problem with Eagle. We got to resolve the environmental issue first. So that one I haven't updated, or nothing yet.

Mr. Caramagno: I see that there is a car wash there and repair shop in the front. How long have you owned that?

Mr. Essa: I've owned that for two and a half, maybe three years now, but I bought it in the condition that is. So, my plan was to renew that one and make it look good too, but that one's taken too long with Egle.

Mr. Caramagno: Are there any repair activities happening there?

Mr. Essa: Now? No, there's...no. I mean, yeah, I go...it's by appointment, so I only go there by appointment.

Mr. Caramagno: Okay, so you do repairs there?

Mr. Essa: Yes, but I don't do nothing to the buildings or anything.

Mr. Caramagno: Okay, so that's basically a non-operating site at this point.

Mr. Essa: Just by appointment. So very minimal.

Mr. Caramagno: Okay, and now your Redford site, what...how will that differ from this site?

Mr. Essa: Which Redford are you looking at? I have two in Redford. The one that I'm selling.

Mr. Caramagno: I'll tell you which one here. 24645 Plymouth Road.

Mr. Essa: 24645 Plymouth Road, that one is a family owned business, so it's not just me. That's my parents, my siblings, that's family-owned business. So, this other one's going to be myself. Plymouth is myself. That one there, that's a used car dealer and parts and auto repair and collision. So, we're not applying for all of that here. So, this one's gonna be strictly auto repair.

Mr. Caramagno: Okay, so the other property...it's got a variety of uses at it.

Mr. Essa: It's got multiple uses, correct. It's got used parts. Has used car dealer, auto repair and collision.

Mr. Caramagno: Okay, so you don't know how many cars you want to keep on this property. Said, maybe 10. Maybe more, depends how business is. Who will the onus be on to inspect this property to make sure there's a...if the number is six, who will the onus be on to make sure that there's not 20 cars jammed in this?

Mr. Essa: I'm sorry, what...

Mr. Caramagno: Who will be responsible for coming over there and count cars if we give you six and there's 20 jammed in there. It seems like a ordinance or inspection nightmare compared to what I saw at Plymouth Road down in Redford Township. Well, yeah, if it's anything even close to that, I got a huge problem with this.

Mr. Essa: Yeah, no, I understand. Again, that Plymouth Township, the Redford location that you're looking...you're not looking at the other Redford I own personally, 23510. You can take a look at that one, if you like.

Mr. Caramagno: That would have been nice to have that address before we got here tonight. You told me, 24645.

UNAPPROVED MINUTES

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Mr. Essa: Well, that's because I told you I was...I'm in the process of selling the 23510, I'm actually...

Mr. Caramagno: What is it?

Mr. Essa: 23510

Mr. Caramagno: 23510 Plymouth Road.

Mr. Essa: Plymouth Road, correct? Yeah, that's Redford as well.

Mr. Uhazie: Is that this one?

Mr. Essa: No, no, this one he's talking about is my family business. Oh, yeah, this one here. Yeah. So that one there is, that one was myself as well, me alone. It's actually, you could probably see the listing of it for sale, and it's pending and it's sold. So that's what I expect this place to look like. I don't know if you can see the front view. You know, my building looks brand new and presentable, and it's not like the one that you see on 24645, I gave you that address as well because it's my family's I don't want to hide nothing. Now the one, the other one you see in Plymouth is...it's got four licenses: collision, auto parts, auto repair and used car dealer. So, this is not going to be anything like that at all. You could take a look at the one in Plymouth Township as well. You can see, I don't have vehicles in that. I have a acre and a half.

Mr. Caramagno: I did. I did look at Plymouth. I looked at both of them. Yes, because you gave me the addresses. And I In my travels, I checked in both Plymouth Township. We got a couple unlicensed cars sitting in the front yard. And again, that's prohibited in our potentially prohibited in our ordinance, and yet, there's two unlicensed cars sitting there. They look like they haven't moved, and my guess would be sometime.

Mr. Essa: Plymouth Road?

Mr. Caramagno: No Plymouth Township.

Mr. Essa: Yeah, there should be only one car, and it does move, but it's okay.

Mr. Caramagno: There's two. There's two. Neither one has a license plate on it. So anyhow, that's my concern. That's all.

Mr. Essa: I understand.

Mr. Wilshaw: Thank you. Mr. Caramagno, any other questions for our petitioner? We've exhausted the questions up here. Anything else that you'd like to tell us Mr. Essa before we move on?

Mr. Essa: No, I think I addressed everything.

Mr. Wilshaw: Okay, let's see if there's anyone in the audience wishing to speak on this item. Is there anyone wishing to speak for or against? Feel free to come to either one of these podiums, whichever one's more comfortable for you. We'll ask that you start with your name and address so we know who we are speaking with.

Jeff Nicholas 11563 Cardwell, Livonia, MI I have the property just south of the former Mickey Shorr. I do have mixed feelings on this. The building is a tough building to put a business in, because of what it is, and it's a very small piece of property. You've answered a lot of my questions tonight, and the board has as well. The wood privacy fence, I built that fence. That's my, I say my fence because I built it, but if he's going to put a six foot cement fence along there, that's better than my wood fence, you know, it's going to close it off. The one concern I have is we started out with zero cars outside, all the cars inside, and now it's gone up to potentially 10 cars outside. So, it evolved as the night went on, from zero to 10. I understand you got to have a few cars, and I wouldn't have any issues with three, four, five, maybe even up to six cars. I didn't see. I couldn't, yeah, this right here. so the back of the building, I can't, he wants asphalt or gravel there, and right now, that is grass, and then heading towards Cardwell is grass. So basically, from the west edge of the building, heading east, on the back side of the building, is all grass, right. Now, I would like that to be left grass, even though he's got a wall there. That's my living area in the backyard. Basically, even though I do use the whole backyard, the parking lot area doesn't bother me. That's always been a parking lot with Mickey Shorr. So, like I said, I do have some concerns about the noise. Mickey Shorr did have their noise, but for the most part, they were pretty respectful. I never did hear an air compressor run and Mickey Shorr, they really didn't have a use for one. So that does concern me that the air compressor would be running. Now I will say, if you follow through with all the plans to do the front face, the side, the shrubbery, the six-foot fence, it looks like a beautiful building. And that building is...you probably agree it needs updating. So as far as this business going in, I'm

50/50. I was against it coming in here tonight. I'm still not 100% for it, like I said 50/50. I just hope that if the city does approve this, that everything that was said tonight, the city follows through with it before they give them a permanent occupancy. And like I said, I would like that area to remain grass, that's my opinion, because that would give it a little bit more separation. And then my other concern is, I like the dumpsters being up front. I worry about where they're going to store the junk parts they take off vehicles, just not laying around in the parking lot. I'm sure they're going to have a scrap bin or something. The property is not that big, and they could get cluttered really fast. I think that the tow truck was the other issue. I have seen the tow truck there, and he is correct. It's a smaller tow truck. I think it's more based on, like a truck platform, but it's not something I don't think that anyone...I've talked to my neighbors, it's not something people want to see. So if he had it more, maybe up towards Plymouth Road to where the building was hiding it. Then, then it's not a site, but it looks like, if I'm correct, he wants to fence the whole property. Was that correct?

Mr. Wilshaw: That's correct.

Mr. Nichols: Okay, so he's gonna be hiding a lot of it as well. So, like I said, I came in here totally against it. You've kind of pushed me 50/50, I'm not 100% for it. And it's a tough, it's a tough building to occupy. You know, it's not a food restaurant. And he's, he's looking like he's gonna put a lot of money into this. So my biggest thing would be the noise, not being able to park anything on Cardwell, of course, you know, keep the residential, residential, and if I can make a suggestion on the hours nine to six, I think that would be a fair recommendation for me, at least. So, I think that covers it all. Thank you everybody for your time.

Mr. Wilshaw: Thank you, Mr. Nicholas, I know you wrote us a really nice letter as well, with a lot of thoughts, and you've expressed your thoughts tonight, which we appreciate. You know, we always like to know how people feel, if they're for or against, but also you've given a lot of suggestions too, of things that could be done. So we appreciate all your thoughts. So, thank you for coming tonight. Thank you. Anyone else wishing to speak on this item? Feel free to come forward. We have a couple folks, you can all come forward.

William Clark, 11369 Cardwell, Livonia, MI. I've kind of become the reluctant, unofficial spokesman for the residents on Cardwell Street and the surrounding area. It wasn't my intention, but it's just kind of, I

just kind of put my thoughts out online, that I was not too happy about this, that I didn't think it was a good idea, and some people reached out to me. I started a petition. I have 42 signatures, and I can attest that the majority, the vast majority, are from people who live on Cardwell or live in close proximity or live in the wider Livonia area. So, I think that's pretty significant. It's not as if there's one or two people, I can't say the whole road, I can't give you know, but it's, it's a significant number of people in the area who don't want this. So, I think, like, I just put together, like a, kind of a small...it's from me, but I think it kind of expresses the kind of the general feeling of where we're at. And so like, when you live in a busy, populated area, like you expect to hear noise, you expect trash cans, you expect car alarms, you expect dogs to bark. You know that's these are the things that go along with living in it, in a busy neighborhood. And this is admittedly a commercial lot, and it is admittedly a lot that was used previously for Mickey Shorr. Now I wouldn't say, I wouldn't put it in the bracket, that it was anywhere close to being like an auto shop, which has been proposed. But it's not...it's a commercial lot that's in a wholly residential area, and it's a very busy, very vibrant community. You have Cardwell street on both sides, but you also have a motel with the bedrooms are 10 yards walk from where this property is, and the kind of noise I think that will emanate from a very heavy, machine orientated business like this is not something that we really want to hear or put up with. I don't think we need to do any tests or investigations or study to know like nomadic drills, service bays, loading doors. And I think the most, I think the biggest worry for people on Cardwell is the tow truck scenario. Nobody wants tow trucks. They look bad and they're noisy. There's a kind of a perception that goes with tow trucks and them. And we're not too happy about that. And I think the parking situation is also a big bone of contention. The pictures here and the plans we see, I don't think it does just as if you actually walk up to the side, it is tiny and it's very hard to visualize. I know we're saying, like, you know, we're going to keep two or three cars overnight, but now it's gone up to 10, and you can't park on Cardwell. The only place for surplus parking is...sorry, you can't park on Plymouth. The only space for surplus parking is Cardwell, which is a residential street. Parking is tight there as it is, and you're lucky sometimes to be able to park outside your house. And it's kind of worrying that there's a potential that there could be the cars. I'm not saying this gentleman would do that, but the potential that that could happen is slightly worrying. I just don't think this site is I want, I want to let it be known as well. Nobody is anti-business. Nobody's saying we want empty buildings or, you

know, not in our backyard sort of thing. We do want to see this site used. We want to see, you know, something to be put in here, but to give some, I think, on a wider kind of zoning sort of prospect is...I counted eight auto repair businesses on a half mile stretch on Plymouth Road. There's not a huge...no one's crying out for an auto shop on Plymouth Road. It's a sea of auto shops. And I think there's like, a dozen auto-related businesses on Plymouth and I think that the very least that could happen is that these established businesses that have been there for a long time could potentially see, you know, a loss of business to what they have established already. And the worst-case scenario, I think that we'll see a business fail. And I don't think it's, you know, a good omen for this council or for us as a community to green light businesses that we know have the potential to fail. And I just say, like to make it clear, like, you know, again, I just want to reiterate, it's not in our backyard. It's not as trying to be snobby or, you know, or we understand that when you live in a busy area like this, that there's going to be noise and so on. We just think that it's too much, and it's a lot for us to kind of...we don't want to see the values of our of our property, go down. That's probably the big worrying concern. So if you want the petition, I can, I can hand it up.

Mr. Wilshaw: If you'd like to hand it over to Ms. Reece after you're done, then we really appreciate that. Thank you.

Mr. Uhazie: Mr. Chairman, while he hands it, I just want to clarify one thing that was discussed earlier. Reviewing the ordinance, just so we're all clear, storage of what is prohibited on site is storage of undamaged or disabled vehicles. The vehicles and any repairs must be done inside. This Commission and City Council can dictate how many cars that are awaiting repairs can be stored outside. That's the clarification. So, they couldn't just put junk cars out there, but they can put cars that are waiting to be stored outside. I just want to clarify that.

Mr. Wilshaw: And as was noted earlier, we can determine the number of those vehicles which we haven't done yet. We've...as some of the folks in the audience have pointed out, it's by default zero, and petitioners asked for 10, and we'll see where this lands, if we choose something between zero and 10, so yet to be determined. But thank you for the comments. There's one more gentleman, I believe, wishes to speak. Good evening, sir.

Steve Alexander, 9919 Deering, Livonia, MI. So I volunteer as a President of Plymouth Circle Civic Association. I promised our residents I

would come up and share some of their quick thoughts. But also, I'll just follow that with the recap of what you guys already showed and I think it's fantastic. So, in short, what you've heard, in addition, what you've heard here, is the notion that, you know, as we build businesses on Plymouth Road, ideally we want residents to want to go to those businesses, right? So, like, can we attract more of things that we're going to want to go to so, like, restaurants and such, right? Clearly, this parcel is not going to be a restaurant or any place that you would go after work, right? So it's... from what we heard tonight, it has to be automotive or something like that. It's just what it is. So, I'm actually really encouraged by what you all showed and shared tonight, especially with the trash. I know early we said, one of the concerns was smells or like, Well, why would there be a concern for smell when there's automotive? But I think really that concern for smell was the trash, right? So, most businesses have their trash in the very back, right? So that would be against Mr. Nichols house, which would not be awesome. So if it's near the front and a container where that smell isn't caring, it's your neighborhood. I think that is fantastic. So, I love what the petitioner presented today. We can move forward with making sure the trash is located, as he suggested I would. I would deeply appreciate it. I'm sure residents would do Thank you.

Mr. Wilshaw: Thank you, Mr. Alexander, and we know he's official because he's got a coat that matches his association. That's really very good. Anyone else wishing to speak on this item, for or against? Go ahead, sir.

Allen Bates, 27076 Meadowbrook, Livonia, MI. You had asked the question...I own the building next to it. He hasn't asked me, but a wall will be fine.

Mr. Wilshaw: So, just to clarify, you're the business west or east?

Mr. Bates: West.

Mr. Wilshaw: West. Okay.

Mr. Bates: Actually, the two buildings west.

Mr. Wilshaw: Okay, very good. There was some discussion at our study meeting, because we see that the property line, at least as indicated on these surveys, appears to be kind of halfway through the middle of your driveway.

- Mr. Bates: Yeah, it's going to stay there?
- Mr. Wilshaw: It is what it is, but it seems like it...
- Mr. Bates: It seems like it was an easement. That's when I bought it. It kind of seemed like half and half.
- Mr. Wilshaw: Yeah, we're not going to make him do anything to that would impede your driveway.
- Mr. Bates: I appreciate that. That would be good because it's rent. I'm just the owner, its rented.
- Mr. Wilshaw: Okay, very good. Thank you, sir. Appreciate your comments. All right, we've heard from everyone in our audience. I don't believe there's anyone left to speak. So, Mr. Essa, would you like to come up and address anything that you heard? Again, we don't create debates between people, but we do want to give you an opportunity to address any concerns or issues that you may be able to resolve.
- Mr. Essa: Of course. Personally, the way the building is going to look afterwards I think it will improve people's home values, as opposed to how it looks right now. I think it's really affecting their home values as it is. There's no windows and it looks like a prison. I would just like to say, and I'm not trying to be offensive or anything here, but the whole point of putting the fence is to leave some cars back there, and they will not be junk cars. I can assure you. You can come out and ticket me, you know, tickets or, you know, violations every day. I don't, you know, there's not going to be any junk cars back there of that I assure you. The whole point of spending that kind of money on a wall like that is to be able to have at least 10 cars back there. If all the cars have to come in the building, or four or five, which I can manage somewhere, then there's no reason to build this wall. We'll continue with all the other plans, but the wall itself...that's a lot of money to build on a masonry wall. As far as street. I'm never going to park in the street. Everything is there's no off-site, you know, parking. There's ample parking for what I'm going to do, you know, for my customers and myself. So, there's no one ever has to worry about me parking on Plymouth Road or Cardwell street or the adjacent property as well.
- Mr. Wilshaw: Okay, all right. Is there any other questions from any of our commissioners for our petitioner before we finish? Mr. Ventura.

- Mr. Ventura: So the topic of the compressor came up again during the comments. Can you clarify how often this compressor is going to be used that you're going to have?
- Mr. Essa: Well, let me say Mickey Shorr does have a compressor in there, I assure you. All of my tools are electric tools, electric impact drills, whatever. The only equipment I would have in there that uses the compressor is the tire machine itself. And if I have to air up tires or blow some air for some reason. How often? I wouldn't say too often.
- Mr. Ventura: So, this is not a compressor that runs the whole time you're open?
- Mr. Essa: No, no, not at all. It'll probably turn on once a week, to be honest. It depends on how many tires I do, to be honest. Now, the old hoist that were coming out of the ground were in use then, yeah, it'll be kicking on every time you go to lift up the car, but those hoists are not going to be used, so I'm going to put electric above ground hoist so the only time that compressor will come on is if you're actually physically using the tire machine or airing up some tires, and it has to get low enough to kick back on. So, you have to be using a lot of air for it to kick it back on.
- Mr. Ventura: Thank you for that clarification.
- Mr. Wilshaw: Thank you. Mr. Ventura. Mr. Long,.
- Mr. Long: So, I want to understand the car storage aspect better than I than I do. You're doing small repairs like the like a Tuffy muffler type of thing?
- Mr. Essa: Correct.
- Mr. Long: So brakes and things like that. People work. They drop their car off in the morning, they leave it there, but they come back and get it at the end of the day, right? At least, most of them are going to so I mean, how many are you going to really need to store overnight? I mean, if we gave you the ability to have 10, is there really going to be 10 there? Are you just going to one or two there overnight? How does that work?
- Mr. Essa: I mean, I would like to have the 10, just in case I do reach that threshold where I do. Again. I'd rather do the maximum than the minimum. So, when I told you nine to six, I said, let's say eight to seven, just in case anyone ever goes in early, or anyone has

to stay late. But generally, my hours are nine to six. So I would always ask for the maximum and hope I use the minimum. Now, there may never, there may be, you know, months. I mean, the gentleman, Sam, said he looked at Plymouth. I only have two vehicles out there. I have an acre and a half. There's only, you know, well, there's only one, but there were two. So, you know, are there going to be vehicles there? Am I going to use 10 at all times? I don't know, but I would like to say that just so it's on record.

Mr. Long: Sure, that makes sense to me. I mean, I guess...with the shop with three bays, and you know your business, I don't know the business model that well. I just don't know how many you would need to have, and how long they would have to be there, again. So, if you're doing breaks to one, a few hour job, right? And it shouldn't take them, you know, I could see where it was there, maybe there over one night, but it shouldn't be there more than one night, right?

Mr. Essa: Well, I mean, I'm, I can do the zero cars.

Mr. Long: No, no. I hear you. I've heard that, and I understand, again, I'm just trying to figure out the duration of it, as well as the need for it.

Mr. Essa: I don't know, but I...you know. I don't want to tell you anything, you know, but there's the oil change in that (inaudible) down on Plymouth, if you drive by right now, I'm sure they have...I want to do it the right way, and I'm letting you know.

Mr. Long: I want you to be set up to succeed, if we are going to approve this business there. Again, I'm just trying to understand the business model. Thank you.

Mr. Essa: No problem. Thank you, Glenn.

Mr. Wilshaw: Mr. Ventura.

Mr. Ventura: Thank you. I want to follow up on Mr. Long's comments, and so as I'm looking at the site plan that Mr. uhazie has up on the screen, I count seven parking places behind the fence west of the building. Is that correct?

Mr. Essa: Well, on that plan, it shows that. I don't know why my engineer doesn't do but if you remember, I was telling you guys last

week, currently there's 14 parking spots there. So even if I don't pave and I leave it grass as the neighbor...

Mr. Ventura: My point is, you already have seven places behind the fence.

Mr. Essa: I think there's more than that right now on the plan, yes.

Mr. Uhazie: There's seven along the west.

Mr. Ventura: And so if we were to allow you to have 10, you could put three spaces exactly behind the building. And taking into consideration the comments of the gentleman whose house is to the south of you, you could leave the majority of the grass behind the building and still have your tent outside parking spaces and go back to what was designed in cooperation with the planning staff, correct?

Mr. Essa: Okay, I think thinking about what Patrick was saying, so I don't mess with any of the storm water or anything. I'll leave the grass there if need be. But again, I didn't see it, so I have to go back and look if there is.

Mr. Ventura: Thank you. Thank you very much.

Mr. Wilshaw: Thank you, Mr. Ventura. Any other questions? Just one for you, sir. In regard to scrap storage, you're going to have tires and other things that are going to come off vehicles. Where are you going to store that?

Mr. Essa: You know, I spoke with Jacob. He never got back to me. I was asking him about those storage containers. He was going to ask somebody, I don't know who exactly, and see if we can put one on there, because I was telling him the same thing, that there's really no storage. So, I guess, so until we get an update, I don't know.

Mr. Uhazie: We still have to make sure with Inspection, but I doubt that will be a possibility.

Mr. Essa: So you're thinking no?

Mr. Uhazie: I don't think they would allow that.

Mr. Essa: Yeah, so that I don't know, then, right now, I might get a...I have a dump trailer that I can bring and leave it back there and throw everything in the dump trailer. It's like, I'll say, four feet and then

every time it gets full, I can take it to the scrap yard and scrap it. I don't know. I guess we'll cross the bridge when we get there. I was hoping I can get the container, but we'll see what happens.

Mr. Wilshaw: Okay, well, that's...it's a very important topic of consideration for us to think about, and issue that residents raised, and I think it's a very valid one. So, I'm glad that you let us know where you stand on that so far. Thank you.

Mr. Essa: Sure, no problem. Thank you.

Mr. Wilshaw: Anyone else with any questions? If not, I'm going to close the public hearing, and a motion is in order

On a motion by Ventura, seconded by Dinaro, and unanimously adopted, it was

#02-03-2025 **RESOLVED**, That pursuant to a Public Hearing having been held by the City Planning Commission on February 4, 2025, on Petition 2025-01-02-01 submitted by Eman Enterprises LLC requesting waiver use approval pursuant to Section 6.06 of the City of Livonia Zoning Ordinance, as amended, to redevelop an existing commercial site, including adding service bays, renovating the interior and exterior of the building and operating an automobile repair facility at 27819 Plymouth Road, located on the southwest corner of Plymouth and Cardwell Street in the Northeast ¼ of Section 34, be approved subject to the following conditions:

1. That the Site Plan identified as Sheet No. A3.0, received January 31, 2025, prepared by Yahana Design & Consulting, is hereby approved and shall be adhered to;
2. That the Elevation Plan identified as Sheet No. A2, received January 31, 2025, prepared by Yahana Design & Consulting, is hereby approved and shall be adhered to;
3. Landscaping tree species shall be selected to the satisfaction of the Planning Department and shall conform with the ordinance requirements which may include the existing trees in the Plymouth Road right of way;
4. The parking lot shall be repaired and restriped as necessary. Parking spaces shall be 10' wide and 20' deep and double striped;

5. The van-accessible barrier-free parking space shall be sized, signed, and marked in accordance with the Michigan Barrier-Free Code;
6. An enclosure of sufficient height to completely screen the *dumpster* is required on three (3) sides of the waste receptacle, with a solid gate on the fourth side. The height of the *enclosure* must be not less than six (6) feet or at least one (1) foot above the height of the *dumpster*, whichever is greater. The *enclosure* gates shall be of solid panel steel construction or durable, long-lasting solid panel fiberglass and, when not in use, closed at all times. The *enclosure* must be constructed of the same or compatible material and colors as the principal building in terms of texture and quality;
7. A variance from the Zoning Board of Appeals would be required for the proposed 6-foot-tall vinyl fencing proposed on the east, west and south sides of the enclosed parking area;
8. That all light fixtures shall not exceed twenty feet (20') in height and shall be aimed and shielded to minimize stray light trespassing across property lines and glaring into adjacent roadways;
9. Any vehicles left on the premises overnight must be in operable condition and not junk vehicles, and must be stored inside the building whenever practicable, or parked in designated parking spaces as shown on the approved site plan, with a maximum of 10 vehicles located outside. Seven parking spaces shall be on the existing paved parking area along the west property line, and three of which shall be located as close as practicable to the south wall of the existing building, so that the existing grass area south of the building is maintained to the greatest possible extent, to the satisfaction of the Inspection and Planning Departments.
10. That on-street parking of vehicles along Cardwell Street is prohibited and no vehicles shall be parked between the building and Cardwell Street right-of-way.
11. That there shall be no outdoor storage of auto parts, equipment, scrap material, waste petroleum products,

junked, unlicensed or inoperable vehicles, or other similar items in connection with this operation, and the overhead doors, when not in use for vehicles entering or exiting the service facility, shall always be closed;

12. That only conforming signage is approved with this petition, and any additional signage shall be separately submitted for review and approval by the Zoning Board of Appeals;
13. That no LED lightband or exposed neon shall be permitted on the site including, but not limited to, the building or around the windows;
14. The overall average illumination level for the parking lots shall be 1.0- foot candle as provided under Section 7.22 of the Zoning Ordinance;
15. That unless approved by the proper local authority, any type of exterior advertising, such as promotional flags, streamers or sponsor vehicles designed to attract the attention of passing motorists, shall be prohibited;
16. That the specific plans referenced in this approving resolution shall be submitted to the Inspection Department at the time the building permits are applied for; and
17. Pursuant to Section 13.13 of the Livonia Zoning Ordinance, this approval is valid for a period of one year only from the date of approval by City Council, and unless a building permit is obtained, this approval shall be null and void at the expiration of said period.

FURTHER RESOLVED, That notice of the above hearing was given in accordance with the provisions of Section 13.13 of Livonia Zoning Ordinance, as amended.

Mr. Wilshaw: Is there any discussion?

A roll call vote on the foregoing resolution resulted in the following:

AYES:	Dinaro, Droze, Ventura, Bongero, Long, Wilshaw
NAYS:	Caramagno
ABSENT:	None
ABSTAIN:	None

Mr. Wilshaw, Chairman, declared the motion is carried and the foregoing resolution adopted. It will go on to the City Council with an approving resolution.

PLYMOUTH ROAD

CARDWELL STREET



Aerial Map

Petition 2025-01-02-01
Eman Enterprises
27819 Plymouth Road



Not to Scale



City of Livonia
Planning Department

INSERT STAFF REPORT

PLANNING COMMISSION STAFF NOTES

Prehearing

ITEM 1

Petition 2025-01-02-01 submitted by Eman Enterprises LLC requesting waiver use approval pursuant to Section 6.06 of the City of Livonia Zoning Ordinance, as amended, to redevelop an existing commercial site, including adding service bays, renovating the interior and exterior of the building and operating an automobile repair facility at 27819 Plymouth Road, located on the southwest corner of Plymouth and Cardwell Street in the Northeast ¼ of Section 34.

January 28, 2025 Study Meeting:

The site is located at the southwest corner of Plymouth Road and Cardwell Street. The petitioner is seeking waiver use approval to renovate and operate an automobile and light truck (up to one (1) ton) repair facility, which is regulated under Section 6.06 of the Zoning Ordinance, as amended. Under Section 6.06 all vehicles left at the facility for repair overnight must be stored within the building and that absolutely no dismantled, damaged or unlicensed vehicles shall be permitted on the site. The ordinance also states that the total number of vehicles proposed to be stored shall be subject to recommendation by the Planning Commission and approved by the City Council.

The petition parcel is zoned C-2, General Business, which treats automobile and light truck repair facilities as a waiver use pursuant to Section 6.06 of the Zoning Ordinance. The site was previously approved for a light auto repair facility in 1971 and again in 1982 but the use never went into operation. The building was previously occupied by Micky Shorr Electronics, who was granted approval to expand the existing building in 1987. The site currently sits vacant.

Properties across Plymouth Road to the north and northwest are commercial properties zoned C-1 (Local Business) while the northeast is zoned C-2 (General Business). To the east, across Cardwell Street, is the Royal Motor Inn which is zoned C-2. West of the site is a small commercial building, zoned C-2. The Thomas Elliot Subdivision is located south of the property and is zoned N1 (Neighborhood).

The subject property is 0.37 acre in area with 148 feet of frontage on Plymouth Road and 110 feet along Cardwell Street. The existing building measures approximately 2,049 square feet and is positioned near the middle of the site closer to the east property line.

Two (2) driveways provide access to the site: one (1) on Plymouth Road and one (1) on Cardwell Street.

Currently the building has two (2) rolling overhang doors, the first located on the north wall and the other located on the east face. The petition included Elevation Plans which shows three (3) service bays for vehicular access to the building. Two (2) ten foot (10') overhead doors would be located along both the north side of the building and the one (1) would be on the east side would remain. Each bay would be accessible by means of a large overhead door. The exterior finish would consist of burnished ground face concrete blocks and horizontal rain screen siding. The existing stucco veneer would be replaced by a brick veneer on the north and east walls. The canopy, aluminum fascia and all associated framings would be removed and replaced with new aluminum or stone coping and fascia at the parapet. All the exiting windows and doors would remain. On the south and west elevations exterior brick/cmu walls will be patched and repaired.

The parking requirement for automobile and truck repair facilities is two (2) spaces for each workstation plus one (1) space per employee. The building would have a total of three (3) workstations and up to three (3) employees; thus, the minimum required number of parking spaces would be nine (9) (3 bays x 2 + 3 employees). The site plan shows three (3) parallel parking spaces next to the Plymouth Road Right of Way and an additional (8) parking spaces along the western property line. The site has a total of 11 parking spaces stripped at nine feet (9') by at twenty feet (20'). All regular spaces are required to be ten feet (10') wide by twenty feet (20') in length.

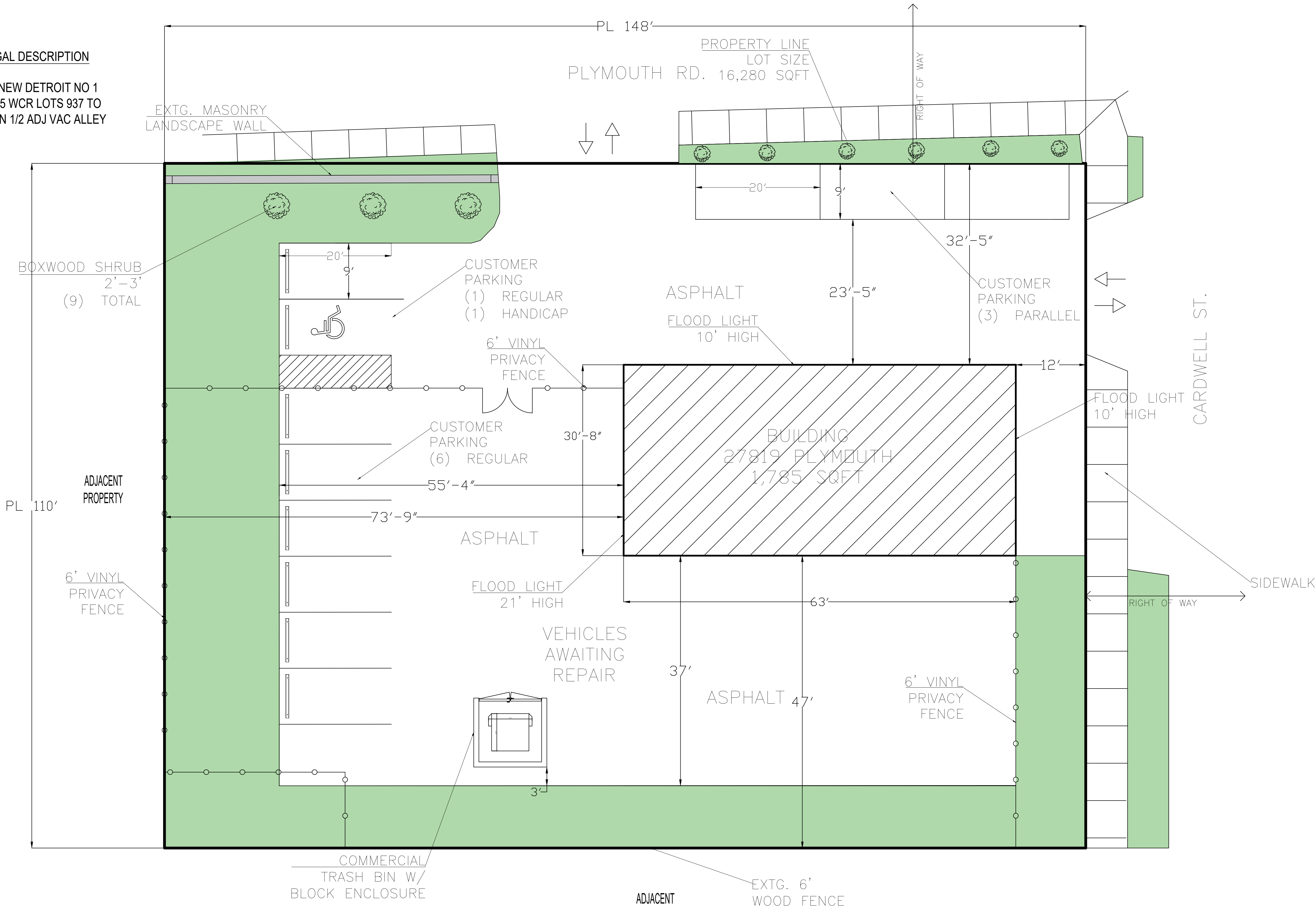
A dumpster is shown with a block enclosure located at the rear of the site between the parking and the building. No additional information on the dumpster enclosure has been provided.

No landscaping plan was provided with this petition, but the site plan appears to remove the existing tree and shrubbery behind the PRDA fencing and replace it with three (3) Boxwood Shrubs. An additional six (6) Boxwood Shrubs are shown next to the Right of Way on Plymouth Road. The Zoning Ordinance requires the following on Plymouth Road: Three (3) deciduous or evergreen trees, two (2) ornamental trees and 24 shrubs; and on Carwell Street: Two (2) deciduous or evergreen trees, one (1) ornamental trees and ten (10) shrubs.

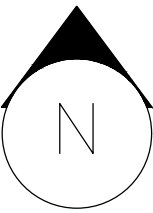
No signage plans were submitted with this petition.

PROPERTY LEGAL DESCRIPTION

36B937 TO 943 NEW DETROIT NO 1
T1S R9E L62 P85 WCR LOTS 937 TO
943 INCL ALSO N 1/2 ADJ VAC ALLEY



1 SITE / LANDSCAPE PLAN SKETCH
1/8" = 1'0"



General Notes

NOT FOR CONSTRUCTION

ALL EXISTING CONDITIONS AND DIMENSIONS SUBJECT TO FURTHER VERIFICATION IN FIELD BY ANY FUTURE ARCHITECT, ENGINEER AND/OR CONTRACTOR

DESIGN PROVIDED BY OWNER

CONTRACTOR/OWNER IS SOLELY RESPONSIBLE TO COMPLY WITH ALL LOCAL BUILDING CODES, REGULATIONS & STANDARDS, ZONING ORDINANCES AND ADA COMPLIANCE

(10) TOTAL PARKING SPACES INCLUDING (1) HANDICAP BASED ON AT LEAST 2 SPACES PER OH DOOR BAY PLUS (1) FOR EACH EMPLOYEE

4,200 SQFT OF LANDSCAPING PROVIDED, > 25% OF TOTAL SITE

1	SKETCH	12/15/24
No.	Revision/Issue	Date

Firm Name and Address

YAHANA DESIGN & CONSULTING
DEARBORN HEIGHTS, MI

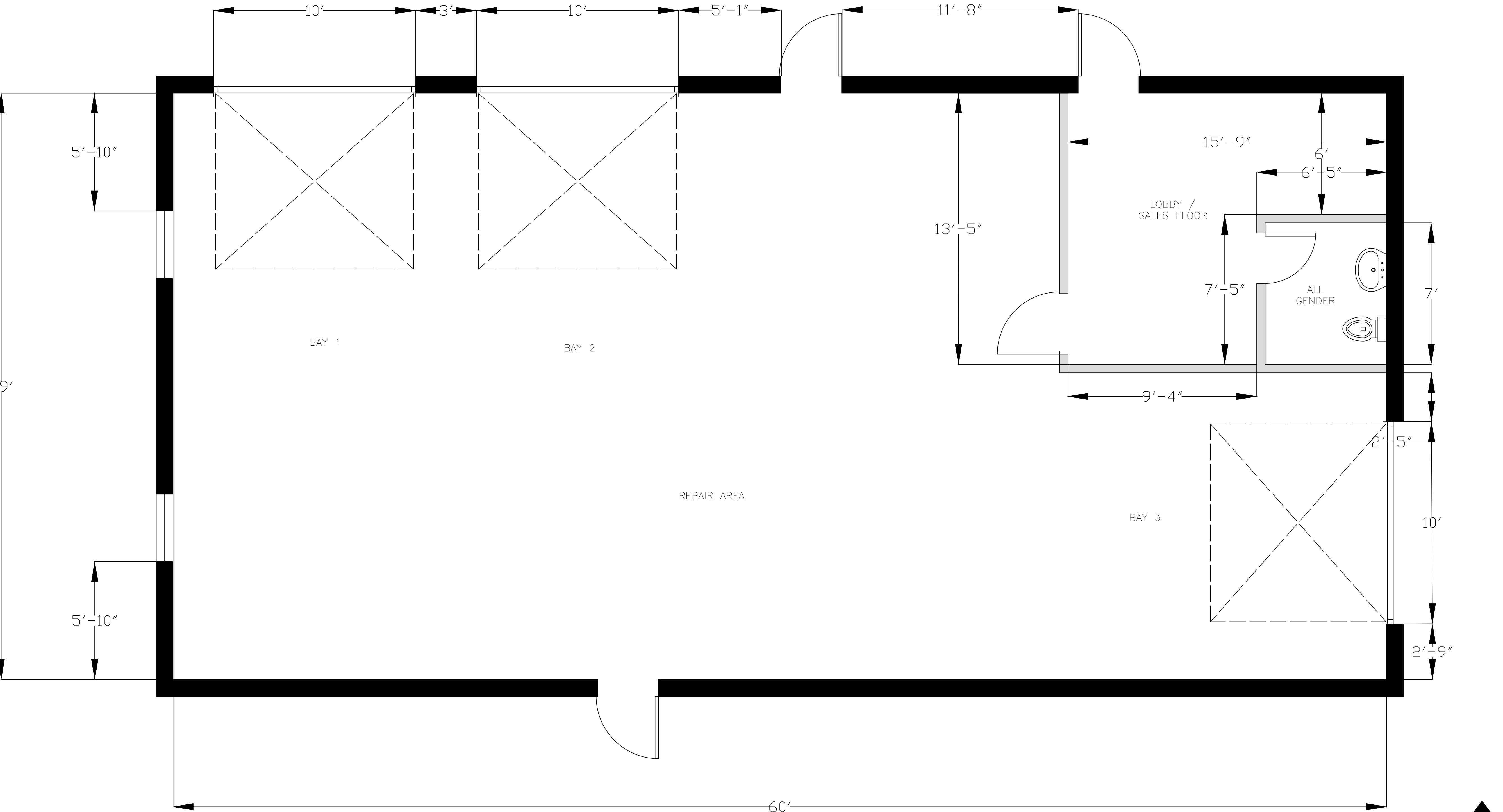
Project Name and Address

27819 PLYMOUTH,
LIVONIA, MI 48150

Project	Sheet
Date 12/15/2024	A3.0
Scale 1/8" = 1'0"	

PROPERTY LEGAL DESCRIPTION

36B937 TO 943 NEW DETROIT NO 1
T1S R9E L62 P85 WCR LOTS 937 TO
943 INCL ALSO N 1/2 ADJ VAC ALLEY



1 EXISTING LAYOUT SKETCH
3/8" = 1'0"

General Notes

NOT FOR CONSTRUCTION

ALL EXISTING CONDITIONS AND DIMENSIONS SUBJECT TO FURTHER VERIFICATION IN FIELD BY ANY FUTURE ARCHITECT, ENGINEER AND/OR CONTRACTOR

DESIGN PROVIDED BY OWNER

CONTRACTOR/OWNER IS SOLELY RESPONSIBLE TO COMPLY WITH ALL LOCAL BUILDING CODES, REGULATIONS & STANDARDS, ZONING ORDINANCES AND ADA COMPLIANCE

1	SKETCH	12/15/24
No.	Revision/Issue	Date

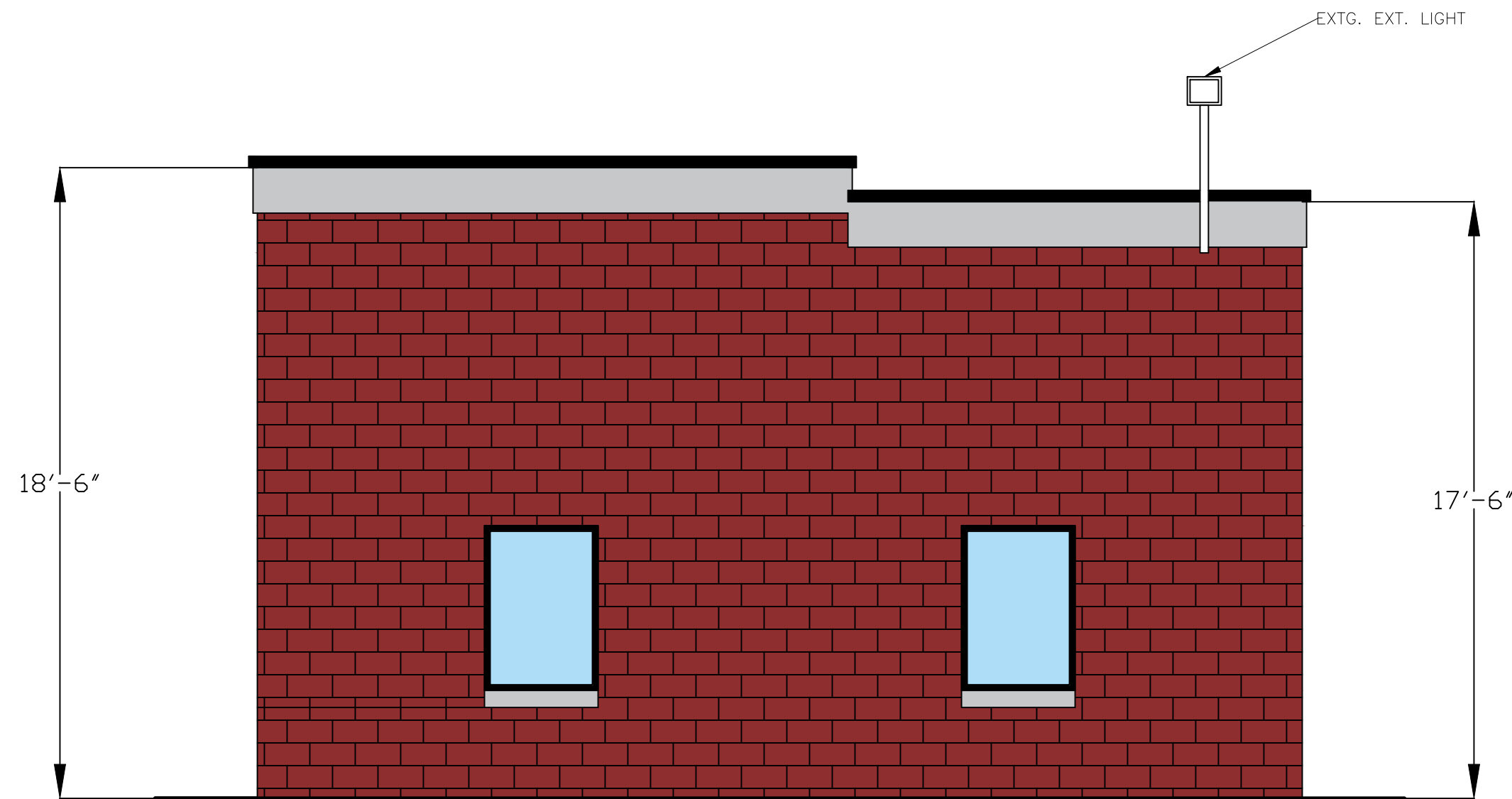
Firm Name and Address

YAHANA DESIGN & CONSULTING
DEARBORN HEIGHTS, MI

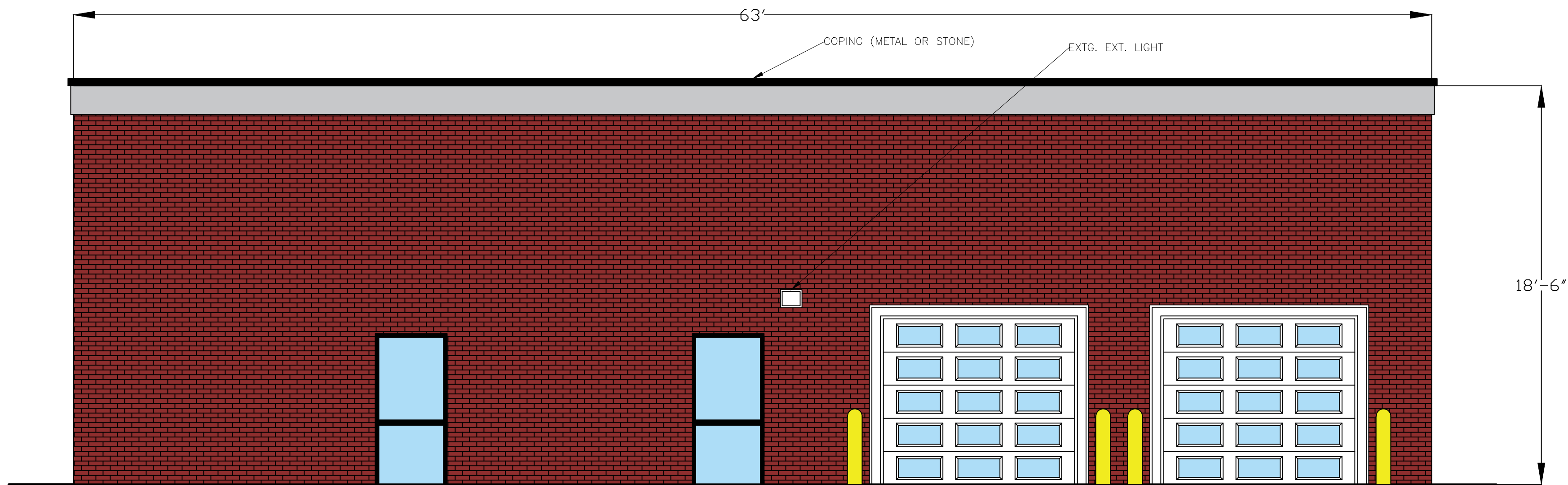
Project Name and Address

27819 PLYMOUTH,
LIVONIA, MI 48150

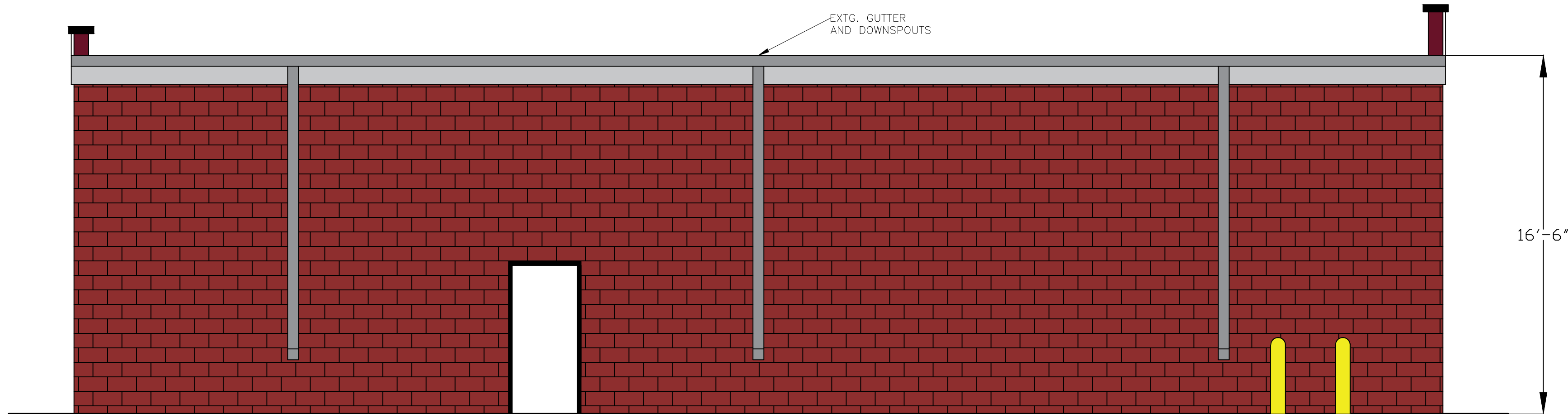
Project	Sheet
Date 12/15/2024	A1.0
Scale 3/8" = 1'0"	



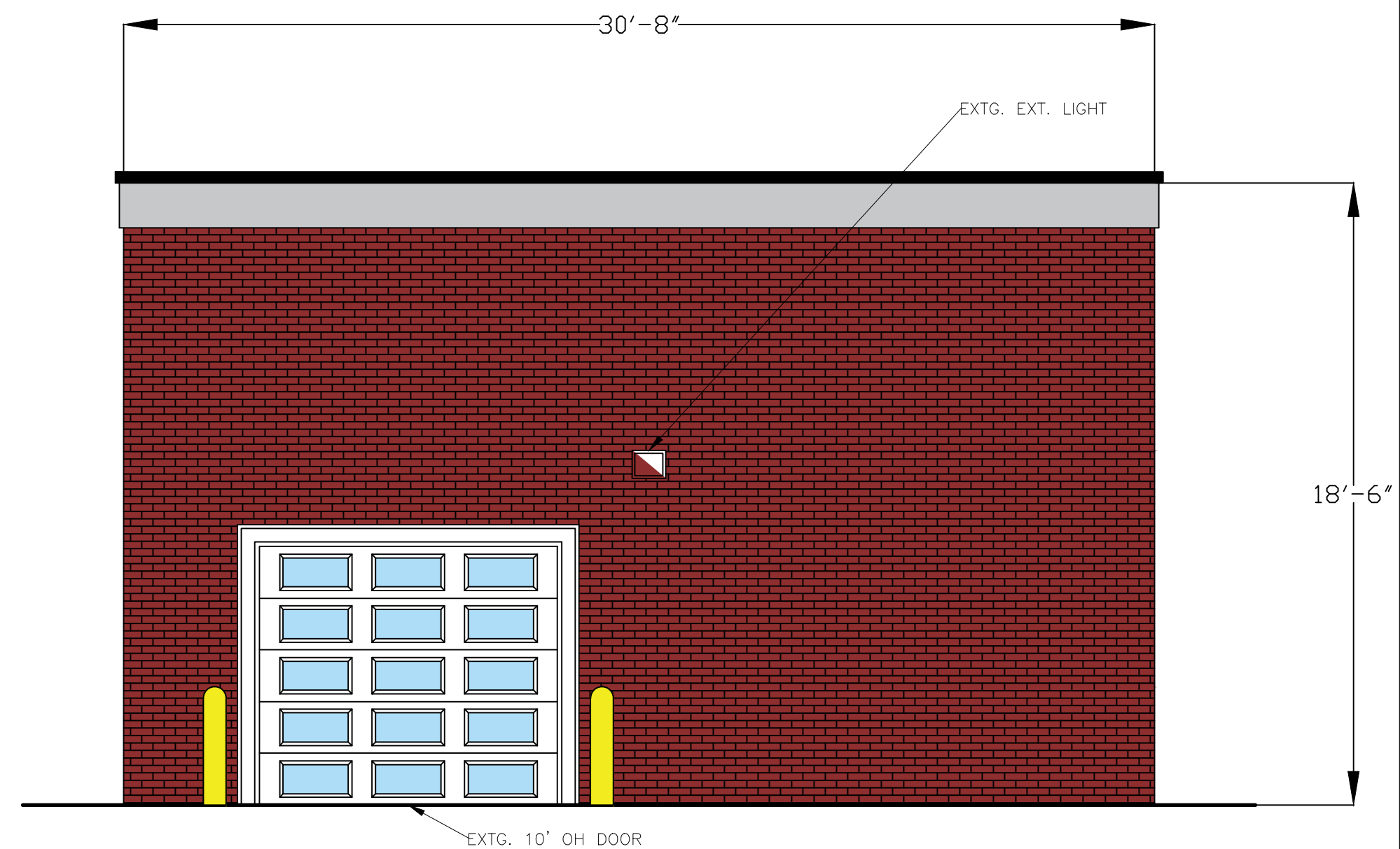
1 WEST ELEVATION SKETCH
1/4" = 1'0"



2 NORTH ELEVATION SKETCH
1/4" = 1'0"



3 SOUTH ELEVATION SKETCH
1/4" = 1'0"



4 EAST ELEVATION SKETCH
1/4" = 1'0"

PROPERTY LEGAL DESCRIPTION

36B937 TO 943 NEW DETROIT NO 1
T1S R9E L62 P85 WCR LOTS 937 TO
943 INCL ALSO N 1/2 ADJ VAC ALLEY

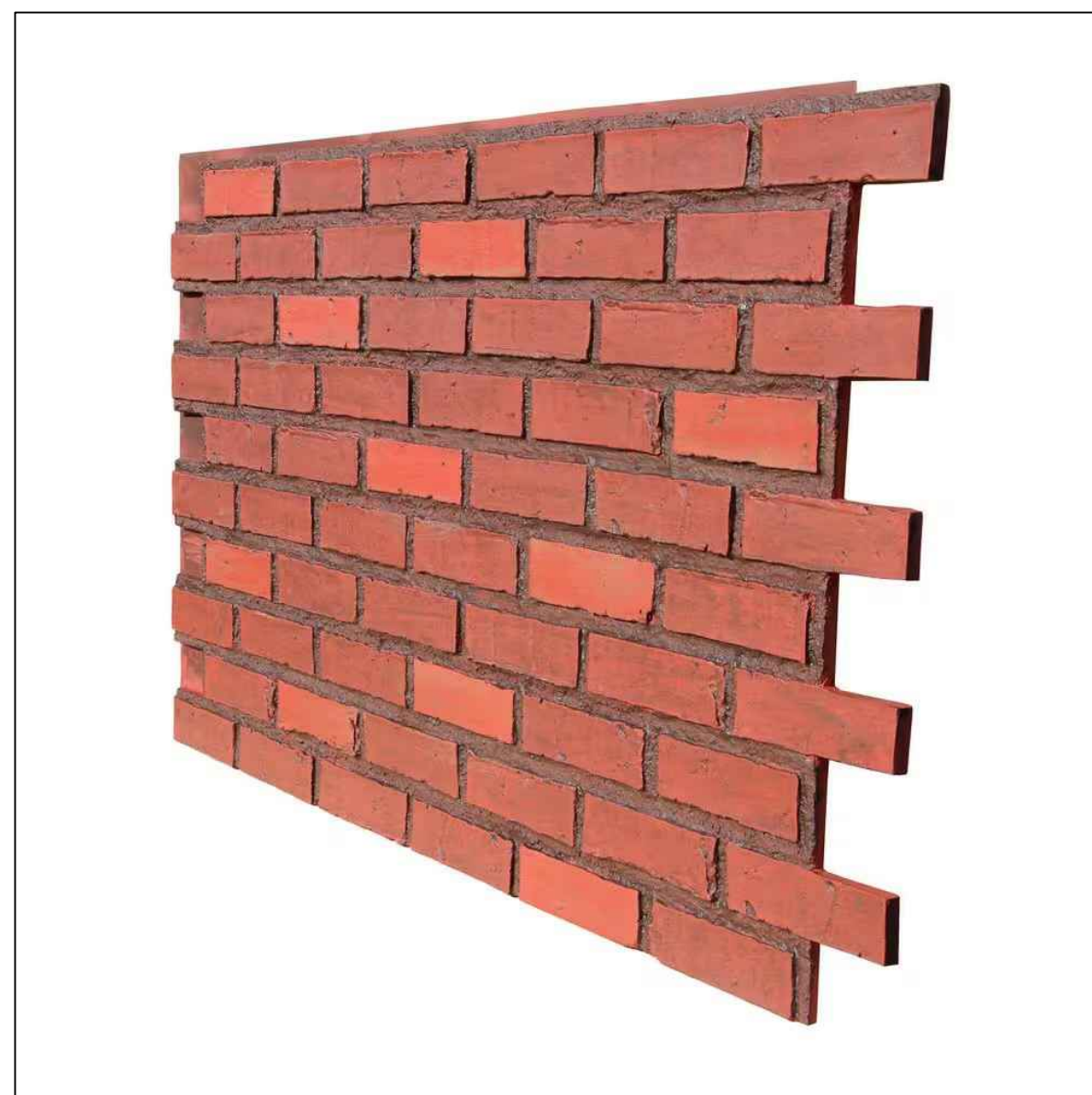


IMAGE 1

SCOPE OF WORK PROVIDED BY OWNER

NORTH AND EAST ELEVATIONS:

1. REMOVE EXISTING EXISTING STUCCO VENEER - REPLACE WITH BRICK VENEER, ENTIRE FACADE. SEE IMAGE 1
2. REMOVE CANOPY AND ALUMINUM FASCIA AND ALL ASSOCIATED FRAMING
3. NEW ALUMINUM OR STONE COPING AND FASCIA TO BE INSTALLED AT PARAPET,
4. ALL EXISTING WINDOWS, LINTELS AND DOORS TO REMAIN. NEW TRIM, FLASHING, ETC. TO BE INSTALLED
5. NEW 10' OH DOOR TO BE INSTALLED AT EXISTING LINTEL HEADER PER DRAWING
6. NEW MAN DOOR WITH ASSOCIATED HEADER AND FRAMING PER DRAWING

SOUTH AND WEST ELEVATIONS:

1. PATCH AND REPAIR EXISTING EXTERIOR BRICK/CMU WALLS
2. FINISH PAINT WITH EXTERIOR GRADE MASONRY PAINT
3. NEW ALUMINUM COPING TO BE INSTALLED AT PARAPET
4. EXISTING GUTTER AND DOWNSPOUT TO REMAIN

General Notes

NOT FOR CONSTRUCTION

ALL EXISTING CONDITIONS AND
DIMENSIONS
SUBJECT TO FURTHER VERIFICATION
IN FIELD BY ANY FUTURE
ARCHITECT, ENGINEER AND/OR
CONTRACTOR

DESIGN PROVIDED BY OWNER

CONTRACTOR/OWNER IS SOLELY
RESPONSIBLE TO COMPLY WITH ALL
LOCAL BUILDING CODES,
REGULATIONS & STANDARDS, ZONING
ORDINANCES AND ADA COMPLIANCE

1	SKETCH	12/15/24
No.	Revision/Issue	Date

Firm Name and Address

YAHANA DESIGN & CONSULTING
DEARBORN HEIGHTS, MI

Project Name and Address

27819 PLYMOUTH,
LIVONIA, MI 48150

Project	Sheet
Date 12/15/2024	A2.0
Scale 1/4" = 1'0"	

CORRESPONDENCE

DEPARTMENT OF PUBLIC WORKS
ENGINEERING DIVISION

TODD J. ZILINCIK, P.E.
CITY ENGINEER

DAVID W. LEAR, P.E.
ASST. CITY ENGINEER



MAUREEN MILLER BROSNAN
MAYOR

DONALD R ROHRAFF
DIRECTOR OF PUBLIC WORKS

12973 FARMINGTON ROAD
LIVONIA, MICHIGAN 48150
(734) 466-2571
FAX: (734) 466-2195

January 16, 2025

Mr. Jacob Uhazie
Assistant Planning Director
City of Livonia

Re: Petition 2025-01-02-01 – #27819 Plymouth Road

Dear Mr. Uhazie:

In accordance with your request, the Engineering Division has reviewed the above referenced petition. We have no objections to the proposed waiver use at this time, but would like to note the following items:

1. The subject parcel is assigned the address of **#27819 Plymouth Road**. Should additional addresses be needed, the Owner will need to contact this Department once approvals have been obtained.
2. The existing parcel is currently serviced by public sanitary sewer and water main. The submitted drawings do not include any proposed utility information or calculations, so we cannot comment on any proposed impacts to the existing systems, but we do not believe the proposed usage will adversely affect the existing utilities.

Should alterations to the existing services be required, the owner shall submit drawings to this department to determine if permits will be required.

3. Although the drawings do not indicate any future utility information, it should be noted the any proposed re-development other than building renovations will be required to provide storm water improvements and detention per the Wayne County Stormwater Ordinance.
4. Any disturbances with the Plymouth Road right-of-way will require permits through the Michigan Department of Transportation, including drive approach and sidewalk removals and placements.

To: Mr. Jacob Uhazie
Re: Petition 2025-01-02-01 – 27819 Plymouth Road

January 16, 2025
Page 2

Should you have any additional questions on this matter, please feel free to contact myself at (734) 466-2608 or the City Engineer, Mr. Todd Zilincik at (734) 466-2561. If you would prefer, you can e-mail either of us at dlear@livonia.gov or tzilincik@livonia.gov.

Sincerely,



David W. Lear, P.E.
Assistant City Engineer

cc: 2025 Petition File

DEPARTMENT OF PUBLIC SAFETY
LIVONIA FIRE & RESCUE

ROBERT JENNISON
FIRE CHIEF



MAUREEN MILLER BROSNAN
MAYOR

14910 FARMINGTON ROAD
LIVONIA, MICHIGAN 48154-5419
734-466-2444
734-466-2082 fax

DATE: January 31, 2025
TO: Scott O. Miller, Planner IV
FROM: Livonia Fire Prevention Division
SUBJECT: **Petition 2025-01-02-01 27819 Plymouth Rd.**

This office has reviewed the site plan submitted in connection with a request to renovate a commercial building on the property located at the above referenced address.

We have no objections to this proposal with the following stipulations:

Evaluation for **possible** suppression system and fire alarm installation due to vehicles that are EV.

A further detailed plan review will take place when this division receives an official plan set.

Sincerely,

Brian Kukla

Brian Kukla
Fire Marshal

**DEPARTMENT OF PUBLIC SAFETY
DIVISION OF POLICE**

THOMAS GORALSKI
CHIEF OF POLICE



MAUREEN MILLER BROSNAN
MAYOR

15050 Farmington Road
Livonia, Michigan 48154-5499
(734) 466-2470
FAX: (734) 261-2265

January 17th 2025

Mr. Scott Miller
City of Livonia Planning Dept
33000 Civic Center Drive
Livonia, MI 48154

Re: Petition 2025-01-02-01 - 27819 Plymouth Road

Mr. Miller,

I have reviewed the plans in connection with the petition. I have no objections to the proposals.

Please feel free to contact me, should you have any questions.

Sincerely,

FOR THE CHIEF OF POLICE,

Paul Walters, Sergeant
Traffic Bureau
(734) 466-2107

INSPECTION DEPARTMENT

BUILDING
HEATING
PLUMBING
ELECTRICAL
ZONING
ENVIRONMENTAL PROTECTION
ORDINANCE ENFORCEMENT



MAUREEN MILLER BROSNAN
MAYOR

JEROME A. HANNA
DIRECTOR

33000 CIVIC CENTER DRIVE
LIVONIA, MICHIGAN 48154-3097
(734) 466-2580
FAX: (734) 466-2095

Date: January 29, 2025

To: Jacob Uhazie

From: Jerome Hanna

RE: Petition 2025-01-02-01 - 27819 Plymouth Road

Pursuant to your request, the above-referenced Petition has been reviewed.

1. The parking lot shall be repaired and restriped as necessary. Parking spaces shall be 10' wide and 20' deep and double striped.
2. The van-accessible barrier-free parking space shall be sized, signed, and marked in accordance with the Michigan Barrier-Free Code.
3. An *enclosure* of sufficient height to completely screen the *dumpster* is required on three (3) sides of the waste receptacle, with a solid gate on the fourth side. The height of the *enclosure* must be not less than six (6) feet or at least one (1) foot above the height of the *dumpster*, whichever is greater. The *enclosure* gates shall be of solid panel steel construction or durable, long-lasting solid panel fiberglass and, when not in use, closed at all times. The *enclosure* must be constructed of the same or compatible material and colors as the principal building in terms of texture and quality.
4. A variance from the Zoning Board of Appeals would be required for the proposed 6' tall vinyl fencing proposed.

This Department has no further objections to this Petition.

I trust this provides the requested information.

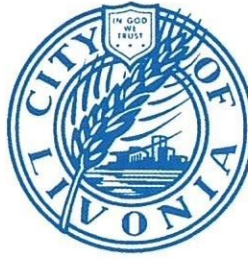
Jerome Hanna

Jerome Hanna
Director of Inspection

DEPARTMENT OF FINANCE

Debra Peck Lichtenberg, CPA
DIRECTOR OF FINANCE

Connie Kumpula
CHIEF ACCOUNTANT



MAUREEN MILLER BROSNAN
MAYOR

33000 CIVIC CENTER DRIVE
LIVONIA, MICHIGAN 48154-3097
(734) 466-2260
FAX: (734) 421-1807

January 31, 2025

Mr. Jacob Uhazie
Planning Commission
33000 Civic Center Drive
Livonia, MI 48154

Petition 2025-01-02-01 - 27819 Plymouth Road

Dear Mr. Uhazie,

I have reviewed the address connected with the above noted petition. As there are no outstanding amounts receivable (general or water and sewer), I have no objections to the proposal.

Please contact me if you have any further questions.

Very truly yours,

Connie Kumpula
Chief Accountant

CK: jw

OFFICE OF THE TREASURER

SUSAN M. NASH
CITY TREASURER



33000 CIVIC CENTER DRIVE
LIVONIA, MICHIGAN 48154-3060
(734) 466-2245
FAX: (734) 421-7230

January 17, 2025

RE: 27819 Plymouth

Attention: Livonia Planning Commission

All taxes are current for the property

If you have any further questions, please contact me

Thank you

Susan Nash
Livonia City Treasurer

OTHER ITEMS RELATED TO THE PETITION

Jeff Nicholas

11563 Cardwell

Livonia, MI 48150

Dear City of Livonia Planning Commission and everyone this letter concerns,

I am writing this letter regarding petition 2025-01-02-01 submitted by Eman Enterprises LLC. Property known as 27819 Plymouth Rd Livonia, MI.

I own the residential property that is right next door to the above-mentioned property. I am writing this letter asking you not to approve this type of business. I will state my reasons.

This property is not a large property. This would mean cars that are waiting to be worked on would be stored outside. The person that is looking at buying or leasing the mentioned property is already using the property to store vehicles. I have seen a tow truck going in and out of the property. Where would this tow truck be stored? Visually with the stored cars and tow truck, this would not be a good look to our neighborhood and community. This building currently has two bay doors. One facing north toward Plymouth Rd. The other facing east exiting out on to Cardwell. Cardwell is a residential street. Automobile repair facilities like the one mentioned above are generally noisy businesses. Air compressors are generally used with air tools such as air impact guns, air chisels and a variety of other air tools and hammering tools to remove broken and stuck parts on vehicles. There is also the noise of the tow truck and vehicles being moved around and stored on the property. Please refer to the maps of how my property 11563 Cardwell and 27819 Plymouth Rd are in close proximity of each other. There is very little distance between my residence and the business that is looking to get a waiver to use this property. The reason this property is not zoned for this type of business is to protect the residents from the above-mentioned concerns and noise.

City of Livonia Planning Commission please look at the number of already existing auto repair facilities we already have in this area. The one mile of Plymouth Rd, between Middlebelt and Inkster roads, there are already seven Automobile repair facilities and one car wash.

1. Firestone Complete Auto Care 29200 Plymouth Rd.
2. Livonia Car & Truck Repair 28850 Plymouth Rd
3. Oval Auto Repair 28735 Plymouth Rd
4. Speedy Auto Service 28411 Plymouth Rd
5. Livonia Auto Sellers 29068 Plymouth Rd
6. Feinn Tire Repair Facility 28055 Plymouth Rd
7. Raceway Pit Stop 28085 Plymouth Rd
8. Zax Auto Wash 36001 Plymouth Rd

I would also like to remind the City of Livonia Planning Commission that a few years ago you denied a rezoning for a car dealership/repair facility for the same concerns as I have mentioned above. The property I am referring to is located at 28121 Plymouth Rd Livonia, MI 48150. This property was the former location of Penalty Box Bar. I ask that you reference back to the reason you did not rezone the above mentioned property and denied a waiver of use. One of the main reasons this business was denied a waiver of use, the size of the property and how close it was to the proximity of residential homes. This property at 28121 Plymouth Rd is larger in size and has more distance from the resident's home then the property at 27819 Plymouth Rd which is next to where I live. Another reason the Planning Commission denied a "waiver of use permit" was concern of noise pollution to the residential neighborhood.

In closing, Livonia has zoning ordinances for a reason. The reason is to protect residents and neighborhoods from businesses that do not fit in a particular location. This business does not belong at this location and that is why a "waiver of use permit" is being asked for. I ask the City of Livonia to enforce the current zoning laws and deny this business. Thank you for your time.

Sincerely,

Jeff Nicholas

Petition 2025-01-02-01

From Kelly Richard <krichard6940@att.net>

Date Mon 2/3/2025 5:08 PM

To Planning <Planning@Livonia.gov>

In regards to this I have some concerns. I am all for businesses being rehabilitated but when we have so many other car repair facilities on Plymouth road how will this affect business.

- What is the sound impact? Currently there is a bay that faces the neighborhood and my backyard faces that. I don't want to hear the various repair tools running all day. It's a large disruption to anyone

If the business were to go in, I would say that the bays in use could only face Plymouth road, this would held reduce any excess noise going into it the neighborhood. No doors or bays facing residential areas. I can't imagine the sound for the person who lives directly behind it. I think there are other more commercial slots this would fit in.

If the petition passes , I would also suggest that additional landscaping be put I place to reduce noise.

What are the hours of this proposed business? Are we to hear the noise all day/evening and weekend? I enjoy my backyard and also wfh, if all I hear is pneumatic tools it will distract from enjoying my home and I would have to keep windows shut to avoid interruption to my work.

Where will excess cars be parked? The lot is very very small and there is no room for parking. Will they park in the streets blocking spots for any residents to use?

Overall I disagree with the petition and hope that Livonia agrees. Mickey shores was bad enough this will only be worse.

Thanks
Kelly Richard
Krichard6940@att.net
Cavell St.

From: [Bethany](#)
To: [Planning](#)
Subject: Eman Enterprises
Date: Wednesday, February 5, 2025 10:37:16 PM

Livonia Planning Commission,

I do not support the redevelopment to an automobile repair facility for 27819 Plymouth Road. I'm concerned about property values and noise.

Bethany Wagner
11532 Cardwell St